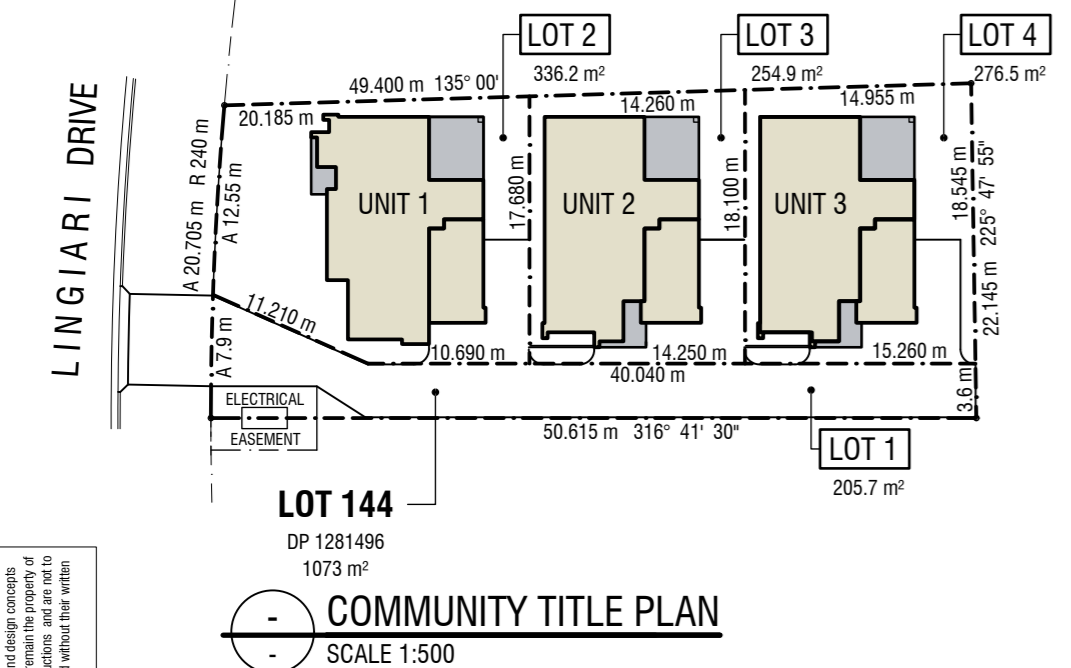
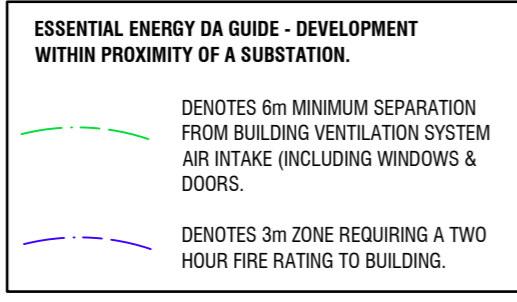


**SITE / SITE ANALYSIS PLAN**  
SCALE 1:200

RW1 CONCRETE SLEEPER RETAINING WALL 1.400m MAX RETENTION



**COMMUNITY TITLE PLAN**  
SCALE 1:500

**DRAWING SCHEDULE**

SHEET No.	SHEET NAME
A01	SITE & SITE ANALYSIS, COMMUNITY TITLE PLAN
A02	LANDSCAPE & PLUMBING PLANS
A03	FLOOR PLAN - UNIT 1
A04	ELEVATIONS & SECTION - UNIT 1
A05	FLOOR PLAN - UNIT 2
A06	ELEVATIONS & SECTION - UNIT 2
A07	FLOOR PLAN - UNIT 3
A08	ELEVATIONS & SECTION - UNIT 3

**AREAS**

<b>UNIT 1:</b>	
LIVING =	105.3 m²
GARAGE =	24.2 m²
OUTDOOR AREA =	15.0 m²
PORCH =	3.5 m²
<b>ROOF AREA =</b>	<b>170.8 m²</b>
<b>TOTAL ENCLOSED AREA =</b>	<b>129.5 m²</b>
<b>UNIT 2:</b>	
LIVING =	102.7 m²
GARAGE =	24.5 m²
OUTDOOR AREA =	15.0 m²
PORCH =	4.7 m²
<b>ROOF AREA =</b>	<b>171.5 m²</b>
<b>TOTAL ENCLOSED AREA =</b>	<b>127.2 m²</b>
<b>UNIT 3:</b>	
LIVING =	102.7 m²
GARAGE =	24.5 m²
OUTDOOR AREA =	15.0 m²
PORCH =	4.7 m²
<b>ROOF AREA =</b>	<b>171.5 m²</b>
<b>TOTAL ENCLOSED AREA =</b>	<b>127.2 m²</b>
<b>SITE AREA PER DWELLING:</b>	
MIN AREA PER DWELLING (R1) =	375 m²
ACTUAL AREA PER DWELLING =	357.6 m²
<b>SITE COVERAGE:</b>	
SITE COVERAGE MAX (MULTI DWELLING) (R1) = 40%	
40% x 1073 m² =	429.2 m²
<b>ACTUAL ENCLOSED SITE COVERAGE =</b>	<b>383.9 m²</b>

**BUILDING NOTES:**  
ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING. THESE PLANS TO BE READ IN CONJUNCTION WITH ALL OTHER ASSOCIATED DOCUMENTS.  
**BUILDER TO ENSURE ALL UNDERGROUND SERVICES, PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION. GO TO www.byda.com.au FOR SERVICES INFORMATION.**  
**SITE:** THE BUILDER SHALL SUPPLY/INSTALL AND MAINTAIN THE FOLLOWING IN ACCORDANCE WITH LOCAL COUNCIL AUTHORITY:  
- SEDIMENT CONTROL MEASURES  
- STABILISED ENTRY POINT  
- CONTROLLED RUBBISH AREA  
- TOILET FACILITIES  
**COMPLIANCE:** ALL BUILDING WORK TO COMPLY WITH THE 'NATIONAL CONSTRUCTION CODE' OF AUSTRALIA, AND ANY REFERENCED AUSTRALIAN STANDARDS AND LOCAL COUNCIL AUTHORITY REQUIREMENTS. ALL AREAS TO BE MADE GOOD BY THE BUILDER WHERE DISTURBED BY THE NEW WORK.  
**BASIX:** BASIX - ALL SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED BASIX CERTIFICATE.  
**CONCRETE:** ALL CONCRETE SLAB & FOOTINGS FOR CLASS 1 & 10a BUILDINGS TO COMPLY WITH AS 2870 RESIDENTIAL SLAB AND FOOTINGS.  
**STORMWATER:** DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.  
**SEWER:** DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500.2 PLUMBING AND DRAINAGE, PART 2: SANITARY PLUMBING AND DRAINAGE.  
**TERMITE PROTECTION:** PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH BCA VOL. 2, PART H1 STRUCTURE, H1D3 SITE PREPARATION, ABCB HOUSINGS PROVISIONS PART 3.4 TERMITE RISK MANAGEMENT AND AS 3660.1 TERMITE MANAGEMENT, PART 1: NEW BUILDING WORK.  
**TIMBER FRAMING:** FABRICATION AND INSTALLATION OF TIMBER CONSTRUCTION TO COMPLY WITH THE RELEVANT PARTS OF AS 1684 TIMBER FRAMING CODE.  
**MASONRY:** TO BE IN ACCORDANCE WITH AS 3700.2018 MASONRY STRUCTURES.  
**ELECTRICAL:** DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3000 ELECTRICAL INSTALLATIONS.  
**WATERPROOFING - INTERNAL WET AREAS:** TO BE IN ACCORDANCE WITH BCA VOL. 2 PART H4 HEALTH AND AMENITY, H4D2 WET AREAS; ABCB HOUSING PROVISIONS PART 10.2 WET AREA WATERPROOFING.  
**WATERPROOFING - EXTERNAL:** TO BE IN ACCORDANCE WITH BCA VOL. 2 PART H2 DAMP AND WEATHERPROOFING, H2D8 EXTERNAL WATERPROOFING; ABCB HOUSING PROVISIONS PART 10.2 WET AREA WATERPROOFING. MATERIALS SELECTION AS PER AS 4654.1 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE, PART 1: MATERIALS. SYSTEM DESIGN AS PER AS 4654.2 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE, PART 2: DESIGN AND INSTALLATION.  
**GLAZING:** SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS. GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.  
**SMOKE DETECTORS:** TO BE SELECTED, LOCATED AND INSTALLED IN ACCORDANCE WITH BCA VOL. 2, H3D6 SMOKE ALARMS AND EVACUATION LIGHTING, ABCB HOUSING PROVISIONS PART 9.5 SMOKE ALARMS AND EVACUATION LIGHTING (INCLUDING NSW STATE VARIATION) AND AS 3786 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION.  
**EXHAUST FANS:** TO BE DUCTED THROUGH ROOF TO OUTSIDE TO PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH BCA VOL. 2, H4D7 VENTILATION; ABCB HOUSING PROVISIONS PART 10.6 VENTILATION - CLAUSE 10.6.2 VENTILATION REQUIREMENTS AND BCA VOL. 2, H4D9 CONDENSATION MANAGEMENT; ABCB HOUSING PROVISIONS PART 10.8 CONDENSATION MANAGEMENT.

**BASIX NOTES:**  
THESE PLANS TO BE READ IN CONJUNCTION WITH THE ASSOCIATED BASIX CERTIFICATE.  
ALL RELEVANT FITTINGS, FIXTURES & APPLIANCES TO COMPLY WITH OR EXCEED THE MINIMUM REQUIREMENTS NOTED IN THE BASIX CERTIFICATE.

**SEWER & STORMWATER NOTE**  
PLUMBING AND DRAINAGE DESIGN & INSTALLATION TO BE IN ACCORDANCE WITH NCC PLUMBING CODE OF AUSTRALIA AND AS/NZS 3500 PLUMBING AND DRAINAGE PARTS 0, 1, 2, 3 & 4.  
PLUMBING CONTRACTOR SHALL ENSURE THE DESIGN AND INSTALLATION IS IN COMPLIANCE WITH THE ABOVE AND SHALL LOCATE ALL BOUNDARY RISERS & MAINS SPURS PRIOR TO COMMENCEMENT OF WORK.  
CONNECT NEW SEWER & STORMWATER PIPE SYSTEM TO EXISTING COUNCIL MAINS SYSTEM.  
OR CONNECT TO NEW OR EXISTING ON-SITE SEWER TREATMENT SYSTEM.

**CUT & FILL NOTE:**  
ALL CUT & FILL LEVELS TO BE CHECKED ON SITE BY BUILDING CONTRACTOR PRIOR TO EXCAVATION.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT. REFER SHEET A01 FOR BUILDING NOTES.

**AMBIGUITY, ERROR OR OMISSION NOTE**

'IF IN DOUBT, ASK; IF IT DOESN'T LOOK RIGHT, QUESTION IT'

ANY PERSON INVOLVED WITH THIS PROJECT (CONSULTANT, CONTRACTOR, SUB-CONTRACTOR, AUTHORITY, SUPPLIER, OWNER AND THE LIKE) THAT DISCOVERS ANY AMBIGUITY, ERROR OR OMISSION IN THESE DOCUMENTS, OR BETWEEN THESE DOCUMENTS AND ANY OTHER RELEVANT DOCUMENTS (CONSULTANTS PLANS, REPORTS, DCP, LEP, BCA, AUSTRALIAN STANDARDS OR THE LIKE), SHALL ADVISE ROBBERSON CONSTRUCTIONS IMMEDIATELY AND SEEK CLARIFICATION. NO DECISIONS WITH REGARD TO APPROVAL, PRICING, SUPPLY OR CONSTRUCTION ARE TO BE MADE WITH RESPECT TO THE ISSUE WITHOUT WRITTEN APPROVAL OR UPDATED DOCUMENTATION TO CORRECT THIS AMBIGUITY, ERROR OR OMISSION.

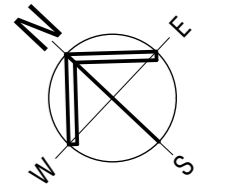
**WORKPLACE HEALTH & SAFETY**

DURING CONSTRUCTION AND THE ON GOING MAINTENANCE OF THIS BUILDING ENSURE WORKPLACE HEALTH AND SAFETY IS FULLY UNDERSTOOD AND IMPLEMENTED BY ALL PERSONS INVOLVED WITH THIS JOB.

REFER TO THE PRELIMINARIES WORKSECTION IN THE SPECIFICATION FOR THE EXPLANATIONS OF THE 10 KEY AREAS OF INFLUENCE. THESE AREAS ARE AS FOLLOWS:

- FALLS, SLIPS AND TRIPS.
- FALLING OBJECTS,
- TRAFFIC MANAGEMENT,
- SERVICES,
- MANUAL TASKS,
- HAZARDOUS SUBSTANCES,
- CONFINED SPACES,
- PUBLIC ACCESS,
- OPERATION USE OF BUILDING RESIDENTIAL BUILDINGS,
- OTHER HIGH RISK ACTIVITY.

**PRELIMINARY**  
NOT FOR CONSTRUCTION



6	ISSUED FOR DA	10-12-2024
5	DRIVEWAY REVISION	11-11-2024
4	95% PROGRESS ISSUE	05-11-2024
3	ISSUED FOR THERMAL COMFORT ASSESSMENT	05-11-2024
2	PROGRESS ISSUE / APPROVAL	29-10-2024
1	PROGRESS ISSUE	17-10-2024

Amendments  
Drafted by K. Stewart, ph 0414737188



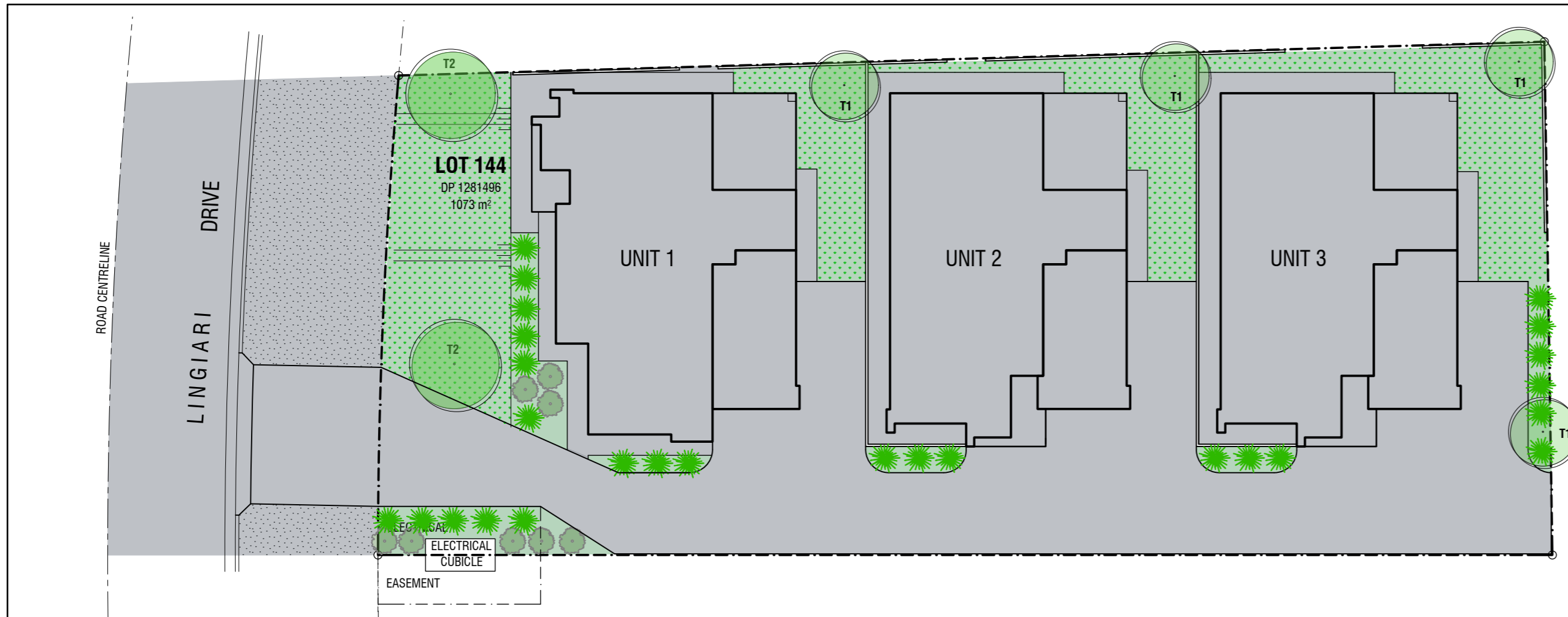
Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
**LOT 144 DP 1281496**  
**107 LINGIARI DRIVE, LLOYD**

Client  
**ROBERSON CONSTRUCTION**

Sheet Title  
**SITE & SITE ANALYSIS PLAN**

Date	OCT 2024	Designed	K.S.	Sheet No.	<b>A01</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	Issue / Amendment No.	
Project No.	23-04				

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**LANDSCAPING PLAN**  
SCALE 1:200

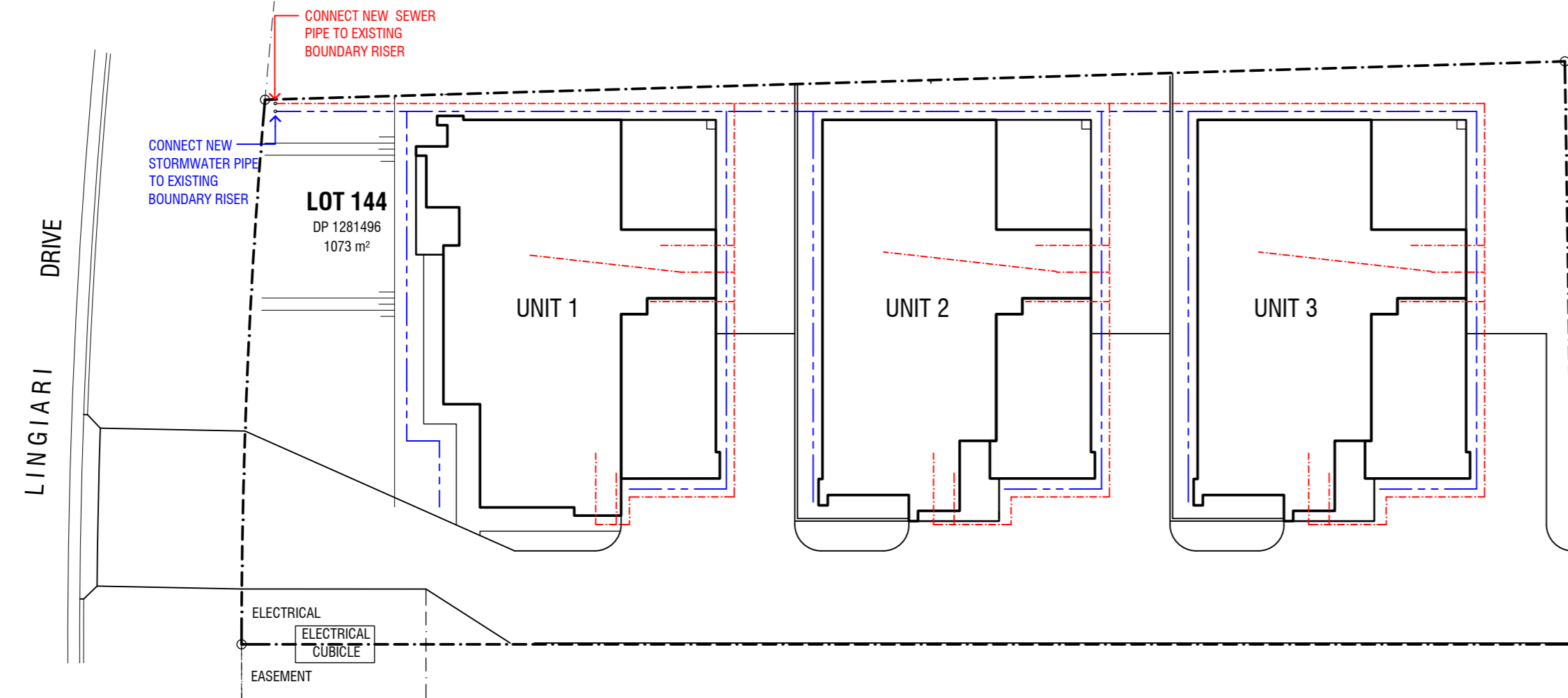
PERVIOUS AREA: PROPOSED: 213.8 m²  
IMPERVIOUS AREA: PROPOSED: 1070.2 m²

**80-20 LANDSCAPING AREAS**  
80-20 AREAS FOR LOT 144 LINGIARI DRIVE HAVE BEEN SOURCED FROM SUBDIVISION PLAN FOR LLOYD WEST STAGE 1A & 1B 80-20 PLAN PREPARED BY MJM CONSULTING ENGINEERS PROVIDED ON WWCC WEBSITE.  
NOTE: LANDSCAPED AREAS TO BE CONSTRUCTED IN ACCORDANCE WITH LLOYD WEST LANDSCAPING & GARDEN DESIGN GUIDELINES.  
TOTAL LOT AREA = 1284 m² (INCLUDES NATURE STRIP & ROAD SURFACE TO ROAD CENTRELINE)  
MINIMUM IMPERVIOUS AREA = 1072.2 m² (80%)  
MAXIMUM PERVIOUS AREA = 256.8 m² (20%)  
PERVIOUS AREA PROPOSED = 213.8 m²

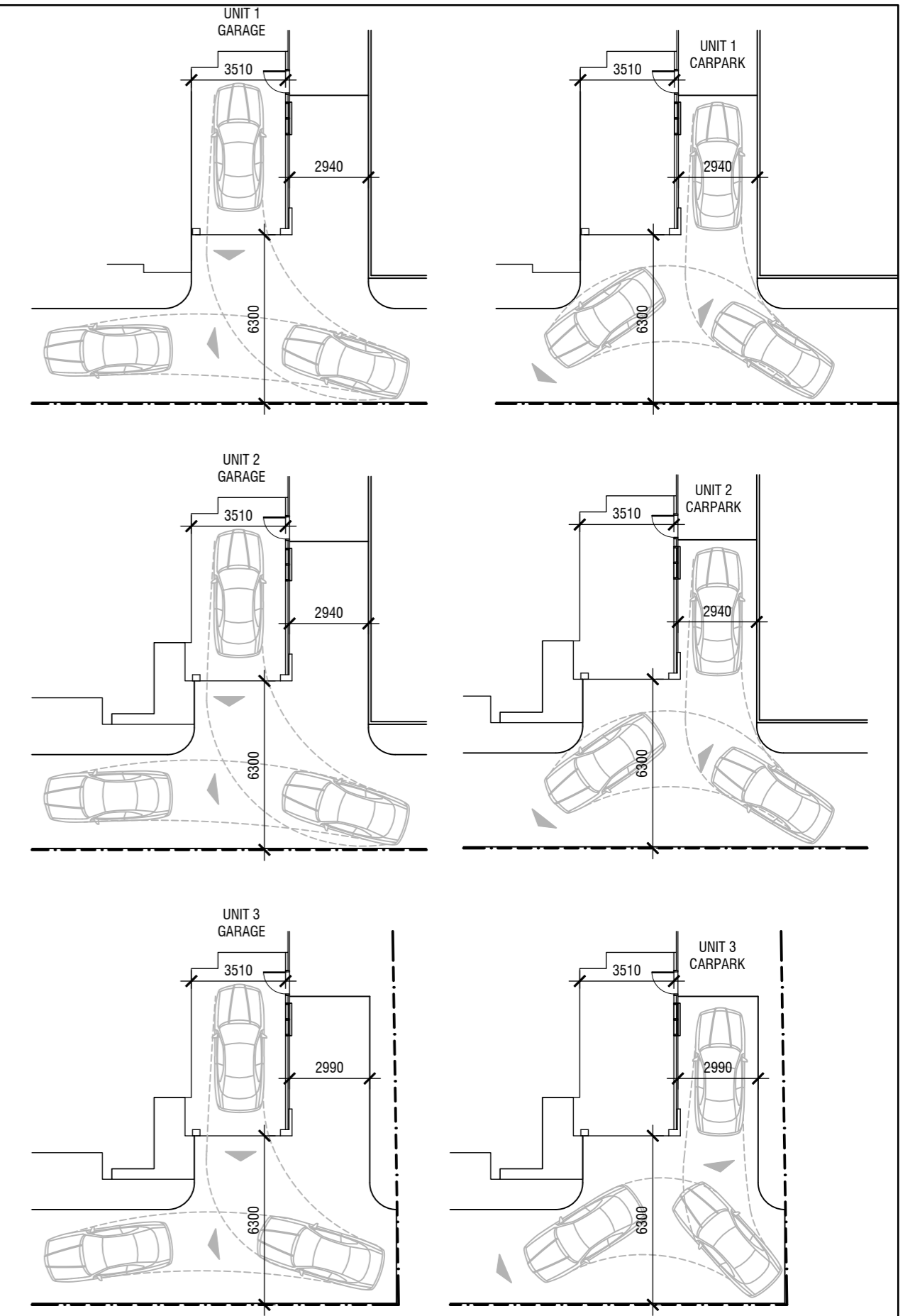
PLANTING SCHEDULE					
	SPECIES	SIZE	SPACING	HEIGHT	QUANTITY
<b>TREES</b>					
T1	<i>Pyrus Calleryana</i> (Capital Pear)	25 L	AS SHOWN	8m H x 3m W	4
T2	<i>Lagerstroemia Natchez</i> (Crepe Myrtle)	25 L	AS SHOWN	8m H x 6m W	2
<b>SHRUBS</b>					
	<i>Photinia x Fraseri</i> 'Red Fence'	200 mm	AS SHOWN	1.5m H x 1.0m W	8
<b>GROUND COVER / GRASSES</b>					
	<i>Lomandra Tanika</i>	TUBE	1.5 m	0.6m H x 0.65m W	26
	<i>Kikuya / Rye Turf</i>				
	Compacted gravel nature strip				

**PLUMBING LEGEND**

	STORMWATER PIPE
	SEWER PIPE
	GP GRATED PIT



**PLUMBING PLAN**  
SCALE 1:200



**VEHICLE MANOEUVERING DIAGRAMS**  
SCALE 1:200

**VEHICLE MANOEUVERING:**  
GARAGE SPACES, DOOR OPENING & APRON WIDTHS TO BE ACCORDANCE WITH AS2890.1 2004 CARPARKING 5.4(b) & FIGURE 2.2. USER CLASS 1A.  
5.4(a) SINGLE VEHICLE GARAGE  
MINIMUM GARAGE WIDTH REQUIRED = 3.0m MIN  
MINIMUM DOOR WIDTH REQUIRED = 2.4m MIN  
MINIMUM APRON WIDTH REQUIRED = 5.6m MIN (FOR 3.0m DOOR OPENING) (USER CLASS 1A, 90° ANGLE - FIGURE 2.2)

4	ISSUED FOR DA	10-12-2024
3	DRIVEWAY REVISION	11-11-2024
2	95% PROGRESS ISSUE	05-11-2024
1	ISSUED FOR THERMAL COMFORT ASSESSMENT	05-11-2024

Amendments  
Drafted by K. Stewart, ph 0414737188



Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
LOT 144 DP 1281496  
107 LINGIARI DRIVE, LLOYD

Client  
**ROBERSON CONSTRUCTIONS**

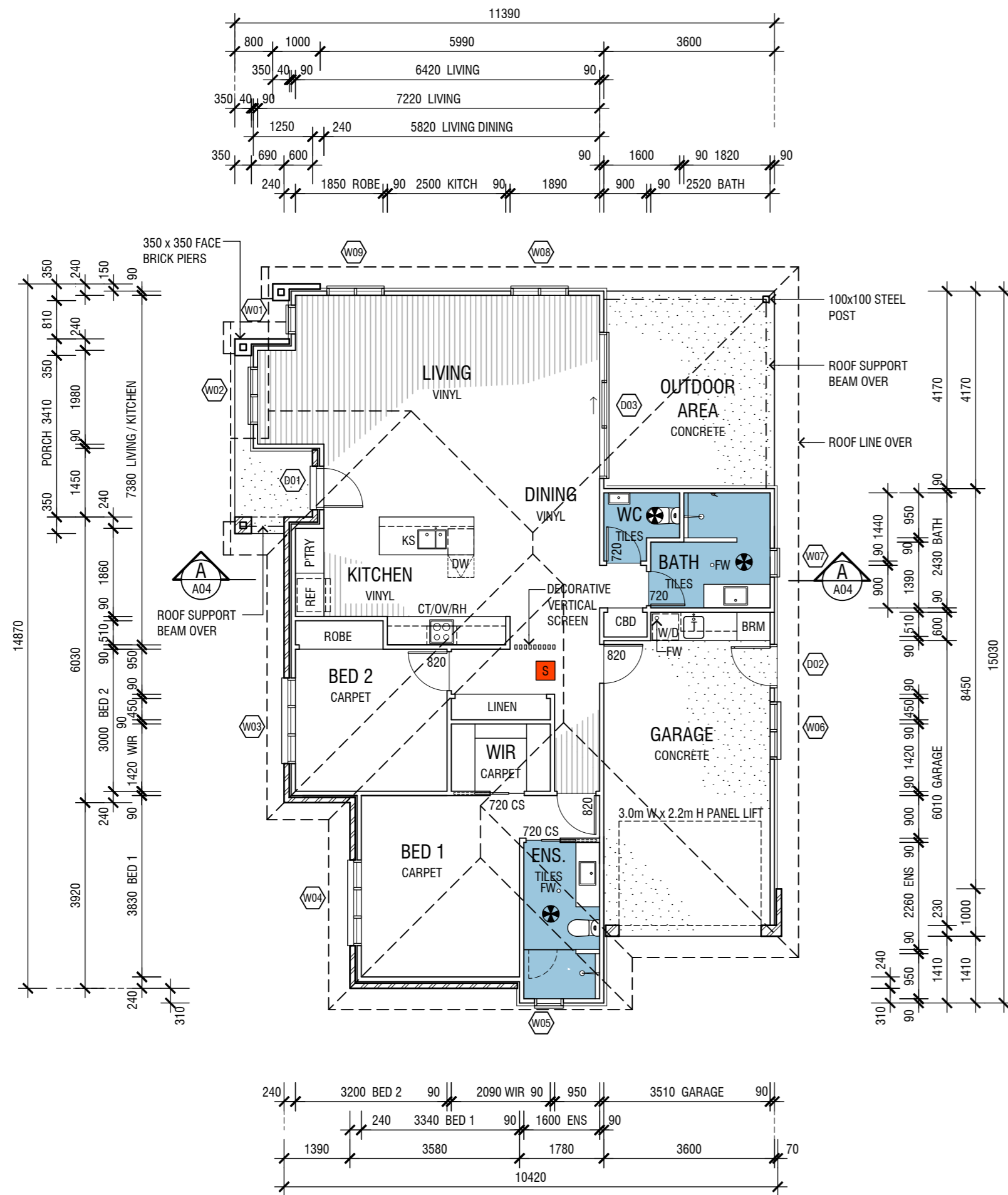
Sheet Title  
**LANDSCAPE & PLUMBING PLANS**

Date	OCT 2024	Designed	K.S.	Sheet No.	<b>A02</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	Issue / Amendment No.	
			Project No.	23-04	4

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UNIT 1 FLOOR PLAN  
SCALE 1:100

WINDOW & DOOR SCHEDULE - UNIT 1

No.	SIZE (H x W)	GLAZING (m <sup>2</sup> )	DESCRIPTION
W01	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W02	1800 x 1210	2.18 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W03	1800 x 1810	3.26 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W04	1800 x 1810	3.26 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W05	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG, B, SAF
W06	1000 x 1210	1.21 m <sup>2</sup>	ALUMINIUM FRAMED SLIDING WINDOW
W07	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED SLIDING WINDOW, DG, OB, SAF
W08	1800 x 1210	2.18 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W09	1800 x 1210	2.18 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
D01	2100 x 920	0.50 m <sup>2</sup>	TIMBER FRAMED 820 ENTRY DOOR
D02	2100 x 920	- m <sup>2</sup>	TIMBER FRAMED 820 SOLID CORE DOOR
D03	2100 x 3010	6.32 m <sup>2</sup>	ALUMINIUM FRAMED GLASS SLIDING DOOR, DG

DOOR AND WINDOW NOTES:

- GLAZING AND WINDOW SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION.
- WINDOW FRAME AND GLAZING PERFORMANCE LEVELS TO MEET OR EXCEED BASIX CERTIFICATE REQUIREMENTS.
- BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURER'S SIZES AS STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURERS.
- ALL WINDOW & DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
- ALL WINDOW AND DOOR HEAD HEIGHT, UNLESS NOTED OTHERWISE - 2100.
- ALL OPERABLE WINDOWS TO BE FITTED WITH SEALS AND TIGHT FITTING FLY SCREENS.
- EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS ALL ROUND.
- FIRST FLOOR AND OVER BEDROOM WINDOWS TO HAVE RESTRICTED OR PROTECTED OPENING AS PER BCA VOL. 2 PART H5 SAFE MOVEMENT AND ACCESS, H5D3 BARRIERS AND HANDRAILS, ABCB HOUSING PROVISIONS PART 11.3 BARRIERS AND HANDRAILS, CLAUSE 11.3.7 PROTECTION OF OPENABLE WINDOWS - BEDROOMS.

- HH - HEAD HEIGHT
- DG - DOUBLE GLAZED
- FR - FROSTED GLASS
- OB - OBSCURE GLASS
- SAF - SAFETY GLASS
- RES - RESTRICTED/PROTECTED OPENING
- MOT - MOTORISED WINDOW

ABBREVIATIONS LEGEND

- COS CONFIRM ON SITE
- EX EXISTING
- CS CAVITY SLIDER
- DW DISH WASHER
- FW FLOOR WASTE
- KS KITCHEN SINK
- OV OVEN
- RH RANGE HOOD
- SH SHELIVING
- CT COOKTOP
- T LAUNDRY TUB
- W/D WASHING MACHINE / DRYER
- BRM BROOM CUPBOARD

SYMBOLS LEGEND

- SMOKE DETECTOR (MAINS CONNECTED AND LINKED WITH BATTERY BACKUP). REFER BUILDING NOTES FOR COMPLIANCE STANDARDS.
- EXHAUST FAN TO BE DUCTED THROUGH ROOF TO OUTSIDE. REFER BUILDING NOTES FOR COMPLIANCE STANDARDS.

BASIX COMMITMENTS

SHOWERHEADS	4 STAR (>6 ≤ 7.5 L/min)
WC's	4 STAR
KITCHEN TAP	3 STAR
BASIN TAPS	3 STAR
HOT WATER UNIT	ELECTRIC INSTANTANEOUS (6 STAR MIN)
COOLING SYSTEMS	REVERSE CYCLE (2 STAR MIN)
HEATING SYSTEMS	REVERSE CYCLE (2 STAR MIN)
EXHAUST FANS	DUCTED TO FACADE, MANUAL OPERATION
LIGHTING	LED
PHOTOVOLTAIC SYSTEM	NONE

INSULATION:

FLOORS - NON-EPS VOID FORMER SYSTEM + REFLECTIVE FOIL UNDER.

ROOF - R1.3 FOIL LINED INSULATION BLANKET

CEILING - R4.5 BATTS

WALLS BRICK VENEER - R2.5 BATTS + VAPOUR

PERMEABLE WALL WRAP TO FRAME

WALLS CLADDING - R2.5 BATTS + VAPOUR

PERMEABLE WALL WRAP TO FRAME

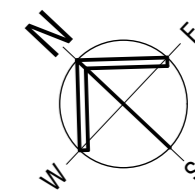
INTERNAL GARAGE WALLS - R2.5 BATTS

EXTERNAL DOORS - AIR INFILTRATION SEALS

EXHAUST FANS - SELF CLOSING DAMPER

DOWNLIGHTS - IC-RATED

PRELIMINARY  
NOT FOR CONSTRUCTION



SCALE 1:100 A2 SIZE

5	ISSUED FOR DA	10-12-2024
4	95% PROGRESS ISSUE	05-11-2024
3	ISSUED FOR THERMAL COMFORT ASSESSMENT	05-11-2024
2	PROGRESS ISSUE / APPROVAL	29-10-2024
1	PROGRESS ISSUE	17-10-2024

Amendments

Drafted by K. Stewart, ph 0414737188



Project

PROPOSED NEW UNIT DEVELOPMENT  
LOT 144 DP 1281496  
107 LINGIARI DRIVE, LLOYD

Client

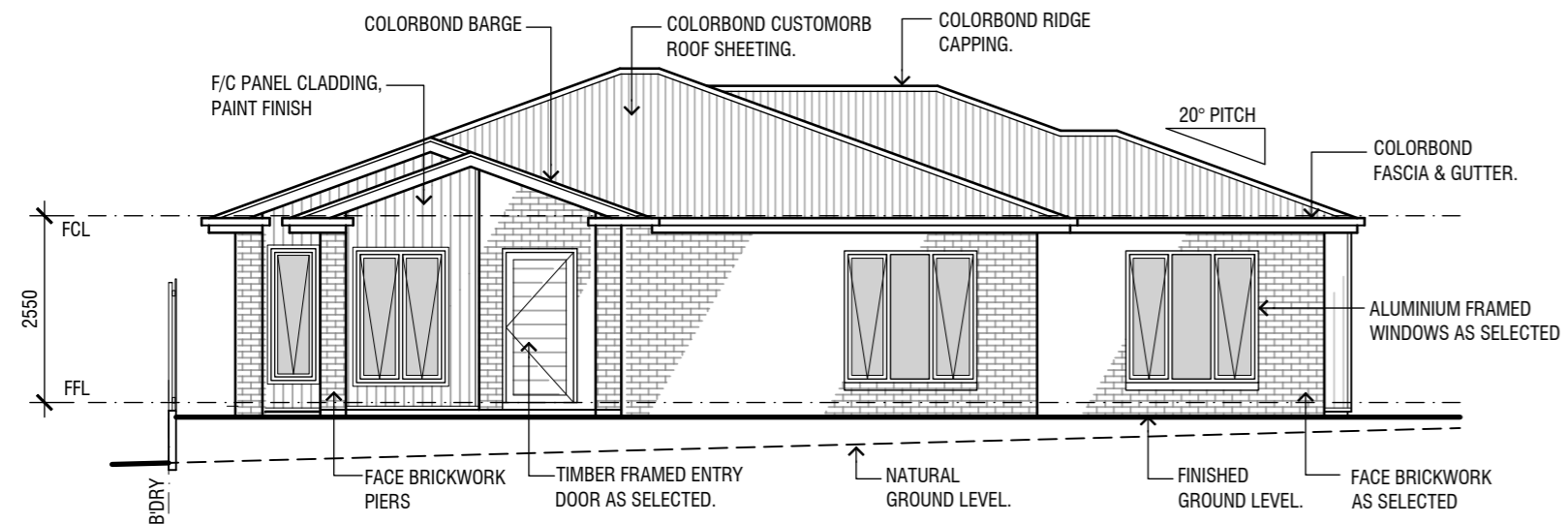
ROBERSON CONSTRUCTIONS

Sheet Title

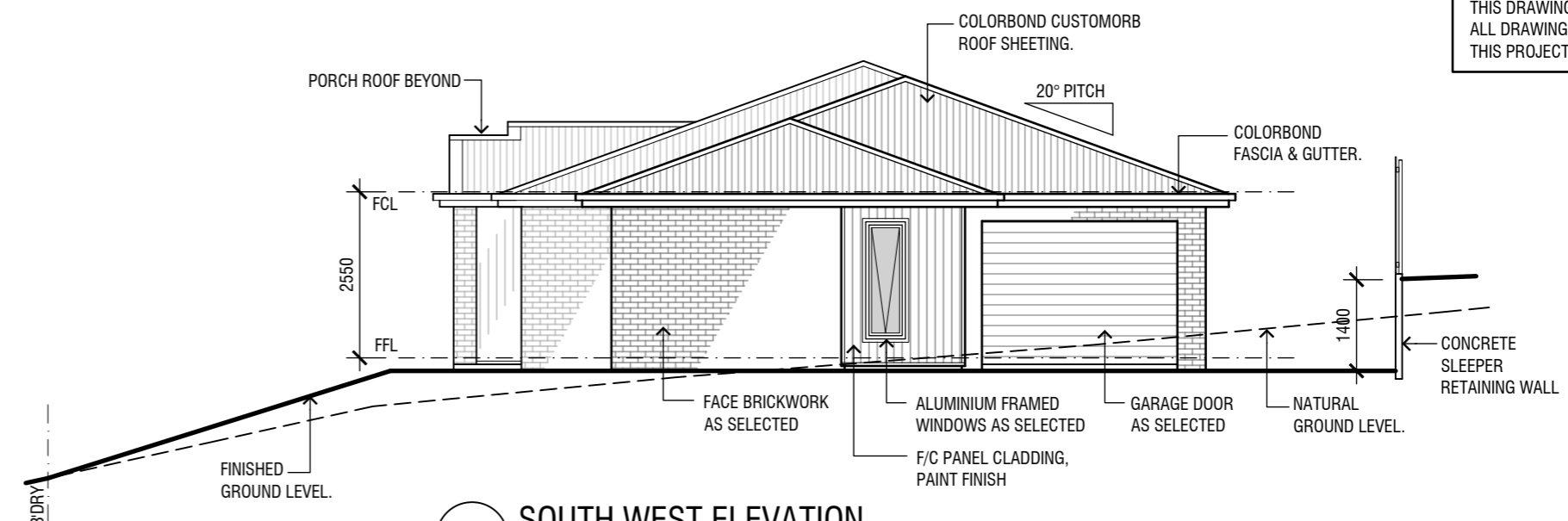
FLOOR PLAN - UNIT 1

Date	OCT 24	Designed	K.S.	Sheet No.	A03
Scale	AS SHOWN AT A2	Drawn	K.S.		
		Project No.	23-04	Issue / Amendment No.	5

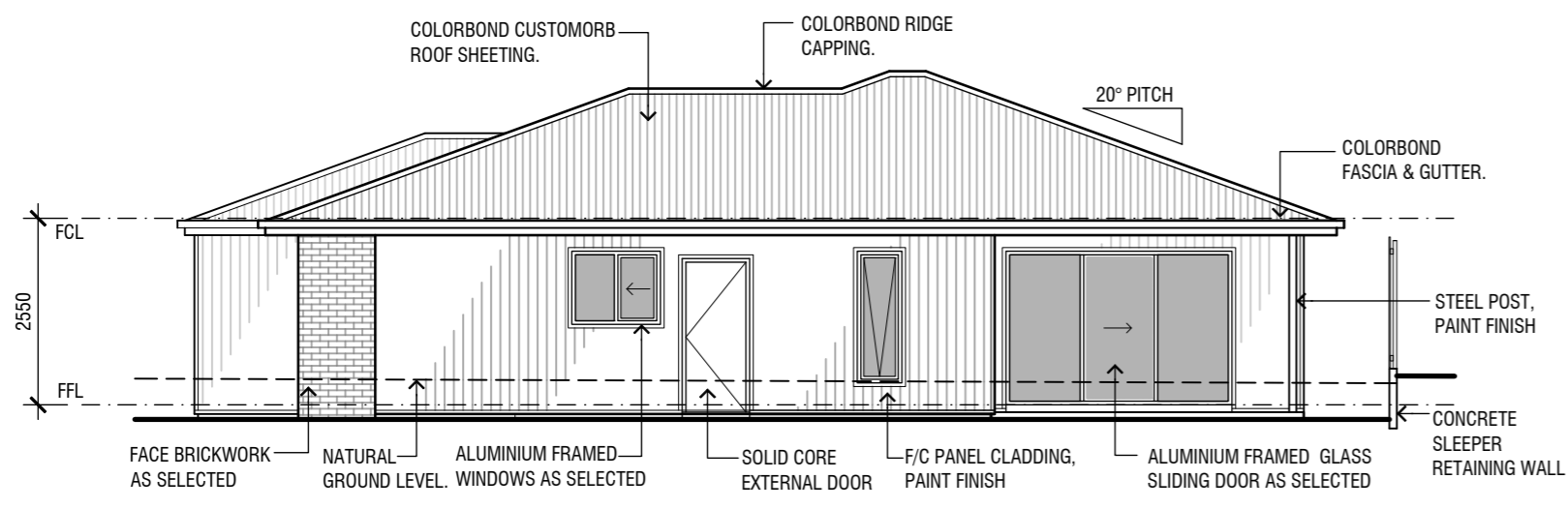
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT. REFER SHEET A01 FOR BUILDING NOTES.



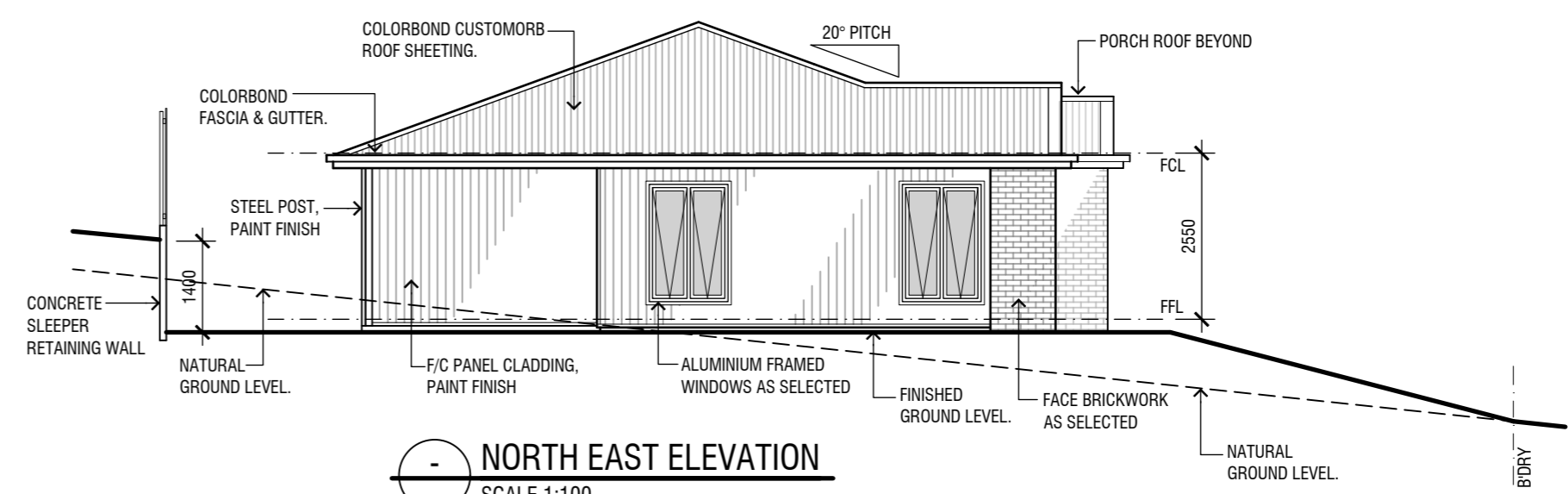
**NORTH WEST ELEVATION**  
SCALE 1:100



**SOUTH WEST ELEVATION**  
SCALE 1:100



**SOUTH EAST ELEVATION**  
SCALE 1:100



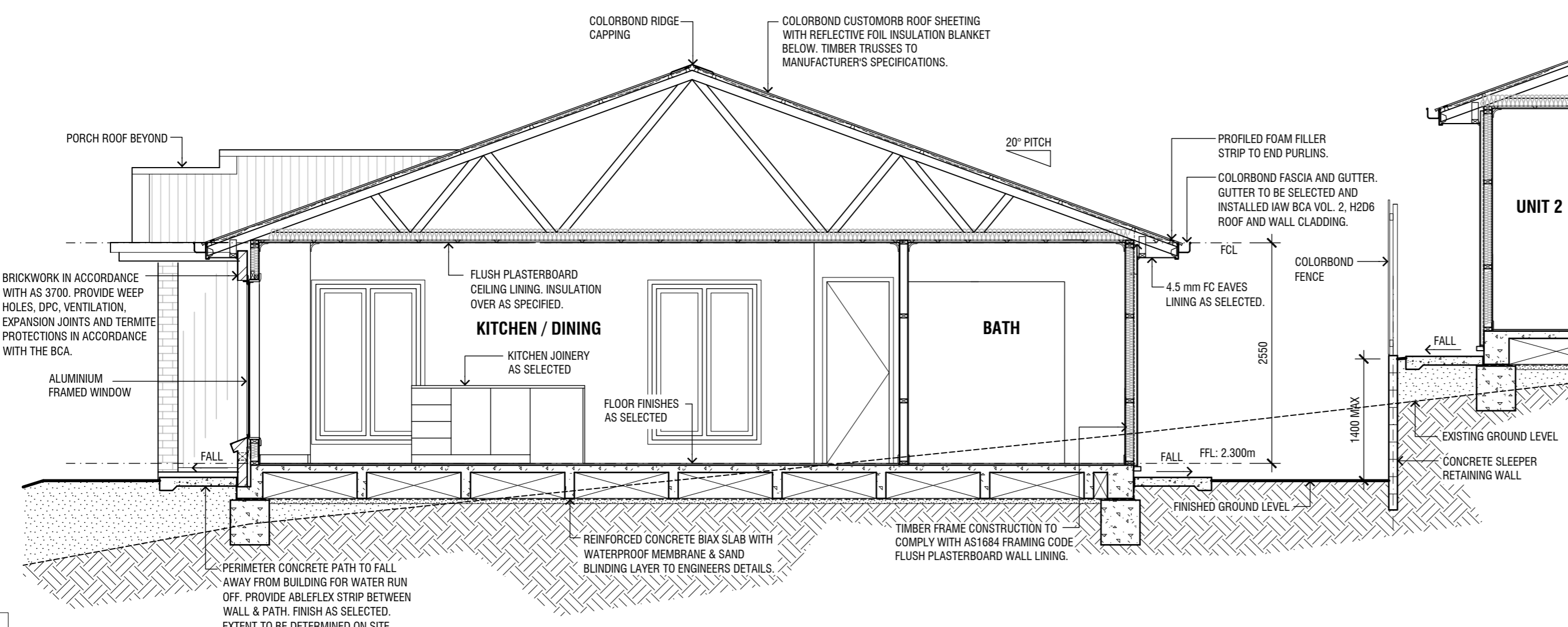
**NORTH EAST ELEVATION**  
SCALE 1:100



SCALE 1:100 A2 SIZE



SCALE 1:50 A2 SIZE



**A SECTION**  
SCALE 1:50

**BASIS INSULATION NOTES:**  
FLOORS - NON-EPS VOID FORMER SYSTEM + REFLECTIVE FOIL UNDER.  
ROOF - R1.3 FOIL LINED INSULATION BLANKET  
CEILING - R4.5 BATTS  
WALLS BRICK VENEER - R2.5 BATTS + VAPOUR PERMEABLE WALL WRAP TO FRAME  
WALLS CLADDING - R2.5 BATTS + VAPOUR PERMEABLE WALL WRAP TO FRAME  
INTERNAL GARAGE WALLS - R2.5 BATTS  
EXTERNAL DOORS - AIR INFILTRATION SEALS  
EXHAUST FANS - SELF CLOSING DAMPER  
DOWNLIGHTS - IC-RATED

**PRELIMINARY**  
NOT FOR CONSTRUCTION

5	ISSUED FOR DA	10-12-2024
4	95% PROGRESS ISSUE	05-11-2024
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Amendments  
Drafted by K. Stewart, ph 0414737188



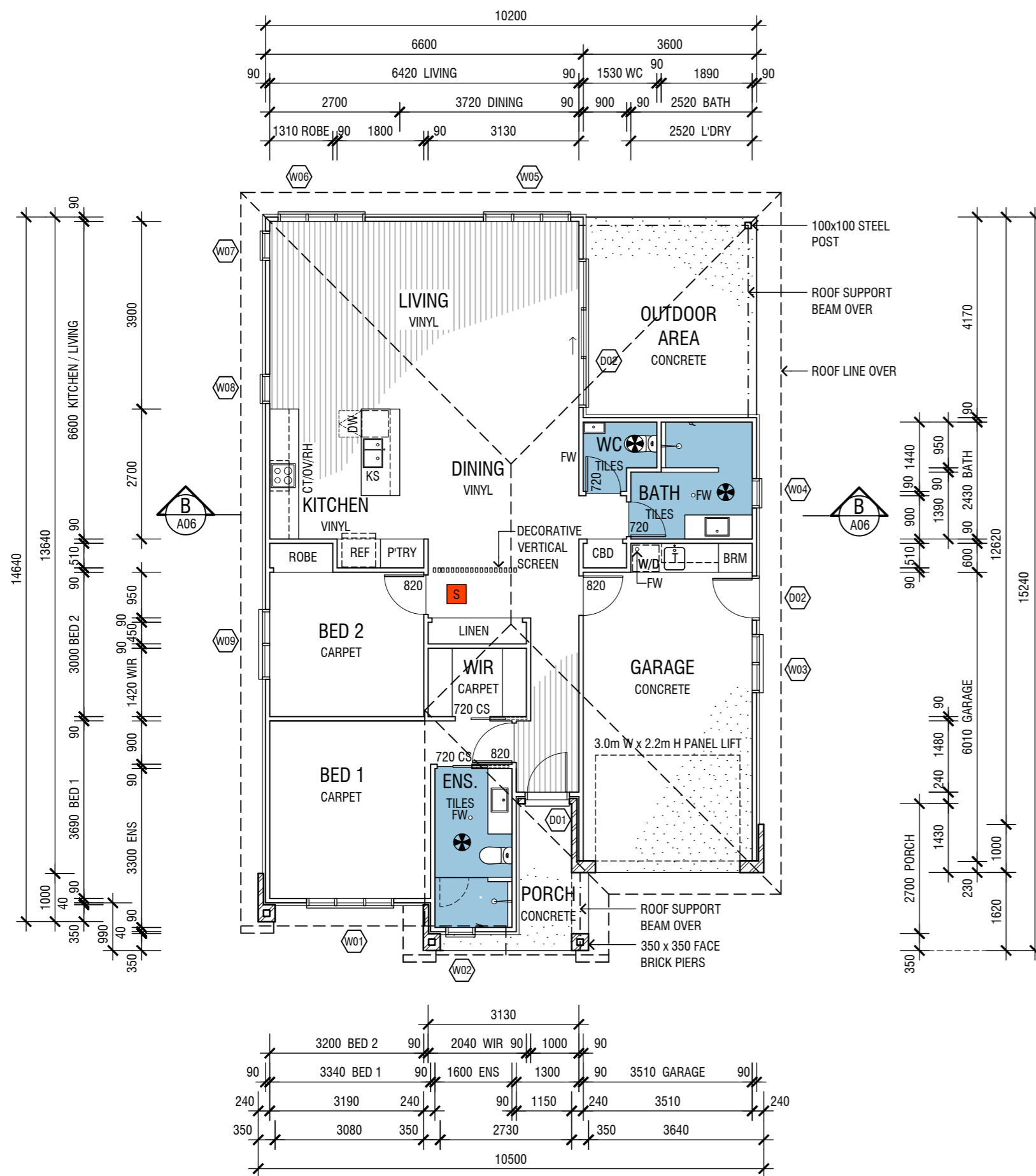
Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
LOT 144 DP 1281496  
107 LINGIARI DRIVE, LLOYD

Client  
**ROBERSON CONSTRUCTIONS**

Sheet Title  
**ELEVATIONS & SECTION - UNIT 1**

Date	OCT 2024	Designed	K.S.	Sheet No.	<b>A04</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	Issue / Amendment No.	
		Project No.	23-04		

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**UNIT 2 FLOOR PLAN**  
SCALE 1:100

**WINDOW & DOOR SCHEDULE - UNIT 2**

No.	SIZE (H x W)	GLAZING (m <sup>2</sup> )	DESCRIPTION
W01	1800 x 1810	3.25 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W02	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG, OB, SAF
W03	1000 x 1210	1.21 m <sup>2</sup>	ALUMINIUM FRAMED SLIDING WINDOW
W04	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG, OB, SAF
W05	1800 x 1810	3.25 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W06	1800 x 1810	3.25 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W07	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W08	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W09	1800 x 1210	2.18 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
D01	2100 x 920	0.50 m <sup>2</sup>	TIMBER FRAMED 820 ENTRY DOOR
D02	2100 x 920	- m <sup>2</sup>	TIMBER FRAMED 820 SOLID CORE DOOR
D03	2100 x 3010	6.32 m <sup>2</sup>	ALUMINIUM FRAMED GLASS SLIDING DOOR, DG

**DOOR AND WINDOW NOTES:**  
 - GLAZING AND WINDOW SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION.  
 - WINDOW FRAME AND GLAZING PERFORMANCE LEVELS TO MEET OR EXCEED BASIX CERTIFICATE REQUIREMENTS.  
 - BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURER'S SIZES AS STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURER'S.  
 - ALL WINDOW & DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.  
 - ALL WINDOW AND DOOR HEAD HEIGHT, UNLESS NOTED OTHERWISE - 2100.  
 - ALL OPERABLE WINDOWS TO BE FITTED WITH SEALS AND TIGHT FITTING FLY SCREENS.  
 - EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS ALL ROUND.  
 - FIRST FLOOR AND OVER BEDROOM WINDOWS TO HAVE RESTRICTED OR PROTECTED OPENING AS PER BCA VOL. 2 PART H5 SAFE MOVEMENT AND ACCESS, HSD3 BARRIERS AND HANDRAILS, ABCB HOUSING PROVISIONS PART 11.3 BARRIERS AND HANDRAILS, CLAUSE 11.3.7 PROTECTION OF OPENABLE WINDOWS - BEDROOMS.

HH - HEAD HEIGHT  
 DG - DOUBLE GLAZED  
 FR - FROSTED GLASS  
 OB - OBSCURE GLASS  
 SAF - SAFETY GLASS  
 RES - RESTRICTED/PROTECTED OPENING  
 MOT - MOTORISED WINDOW

**ABBREVIATIONS LEGEND**

COS	CONFIRM ON SITE
EX	EXISTING
CS	CAVITY SLIDER
DW	DISH WASHER
FW	FLOOR WASTE
KS	KITCHEN SINK
OV	OVEN
RH	RANGE HOOD
SH	SHELVING
CT	COOKTOP
T	LAUNDRY TUB
W/D	WASHING MACHINE / DRYER
BRM	BROOM CUPBOARD

**SYMBOLS LEGEND**

	SMOKE DETECTOR (MAINS CONNECTED AND LINKED WITH BATTERY BACKUP). REFER BUILDING NOTES FOR COMPLIANCE STANDARDS.
	EXHAUST FAN TO BE DUCTED THROUGH ROOF TO OUTSIDE. REFER BUILDING NOTES FOR COMPLIANCE STANDARDS.

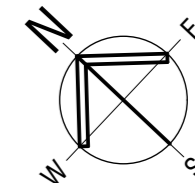
**BASIX COMMITMENTS**

SHOWERHEADS	4 STAR (>6 <= 7.5 L/min)
WC's	4 STAR
KITCHEN TAP	3 STAR
BASIN TAPS	3 STAR
HOT WATER UNIT	ELECTRIC INSTANTANEOUS (6 STAR MIN)
COOLING SYSTEMS	REVERSE CYCLE (2 STAR MIN)
HEATING SYSTEMS	REVERSE CYCLE (2 STAR MIN)
EXHAUST FANS	DUCTED TO FACADE, MANUAL OPERATION
LIGHTING	LED
PHOTOVOLTAIC SYSTEM	NONE

**INSULATION:**  
 FLOORS - NON-EPS VOID FORMER SYSTEM + REFLECTIVE FOIL UNDER.  
 ROOF - R1.3 FOIL LINED INSULATION BLANKET  
 CEILING - R4.5 BATTS  
 WALLS BRICK VENEER - R2.5 BATTS + VAPOUR PERMEABLE WALL WRAP TO FRAME  
 WALLS CLADDING - R2.5 BATTS + VAPOUR PERMEABLE WALL WRAP TO FRAME  
 INTERNAL GARAGE WALLS - R2.5 BATTS

**EXTERNAL DOORS - AIR INFILTRATION SEALS**  
**EXHAUST FANS - SELF CLOSING DAMPER**  
**DOWNLIGHTS - IC-RATED**

**PRELIMINARY**  
NOT FOR CONSTRUCTION



5	ISSUED FOR DA	10-12-2024
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2	PROGRESS ISSUE / APPROVAL	29-10-2024
1	PROGRESS ISSUE	17-10-2024

Amendments  
 Drafted by K. Stewart, ph 0414737188



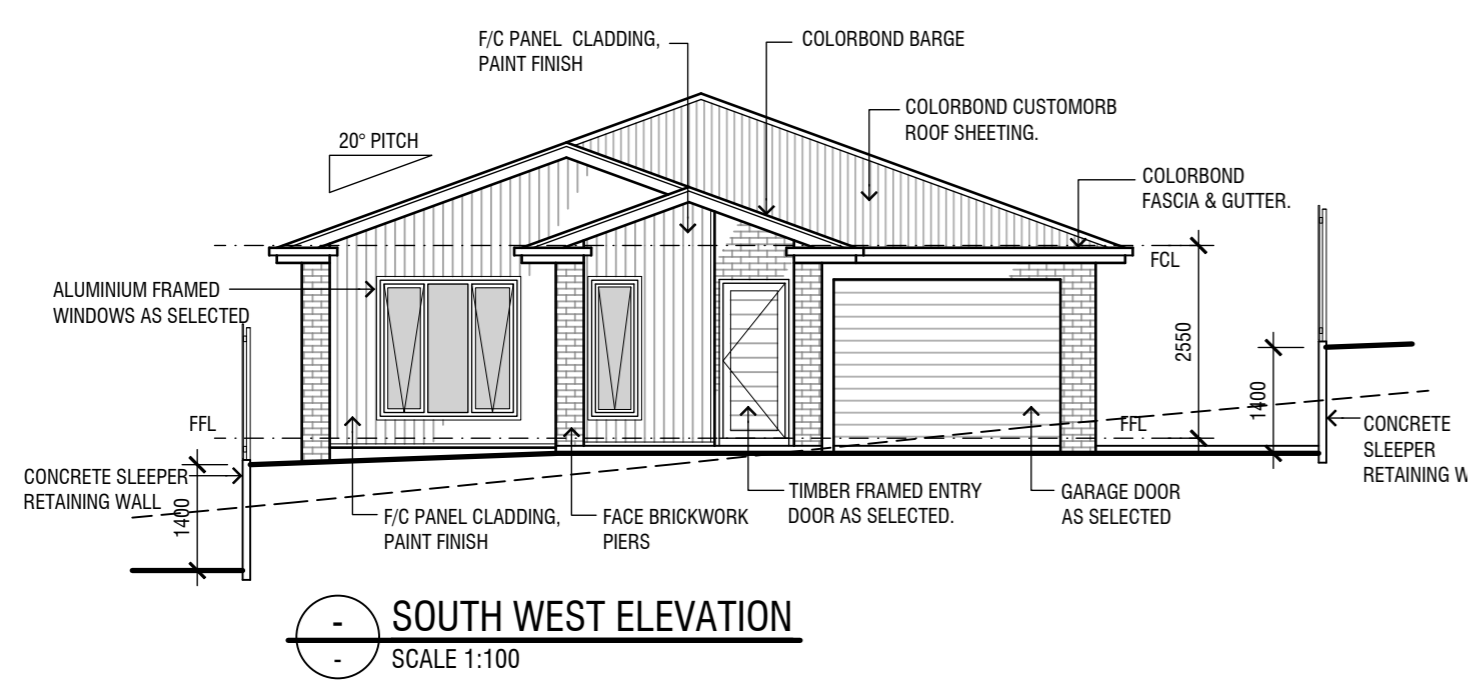
Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
 LOT 144 DP 1281496  
 107 LINGIARI DRIVE, LLOYD

Client  
**ROBERSON CONSTRUCTIONS**

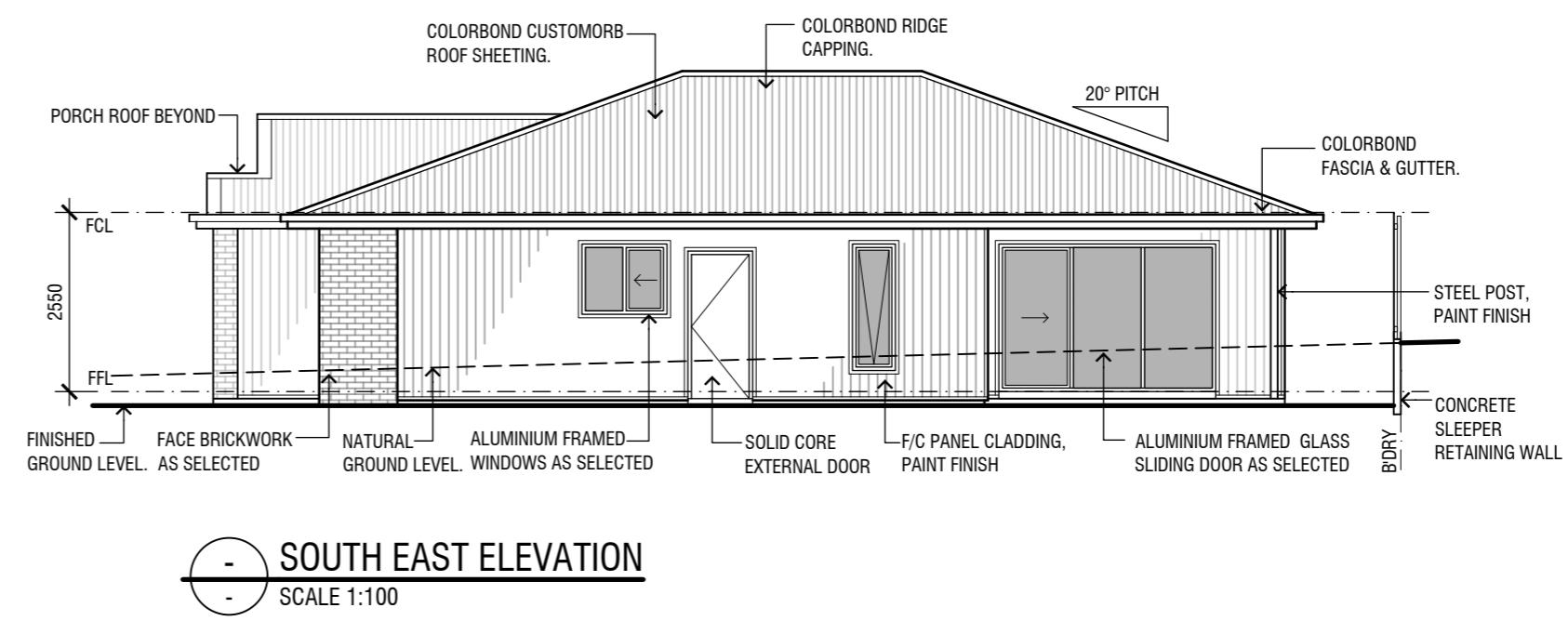
Sheet Title  
**FLOOR PLAN - UNIT 2**

Date	OCT 24	Designed	K.S.	Sheet No. <b>A05</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	
		Project No.	23-04	Issue / Amendment No. 5

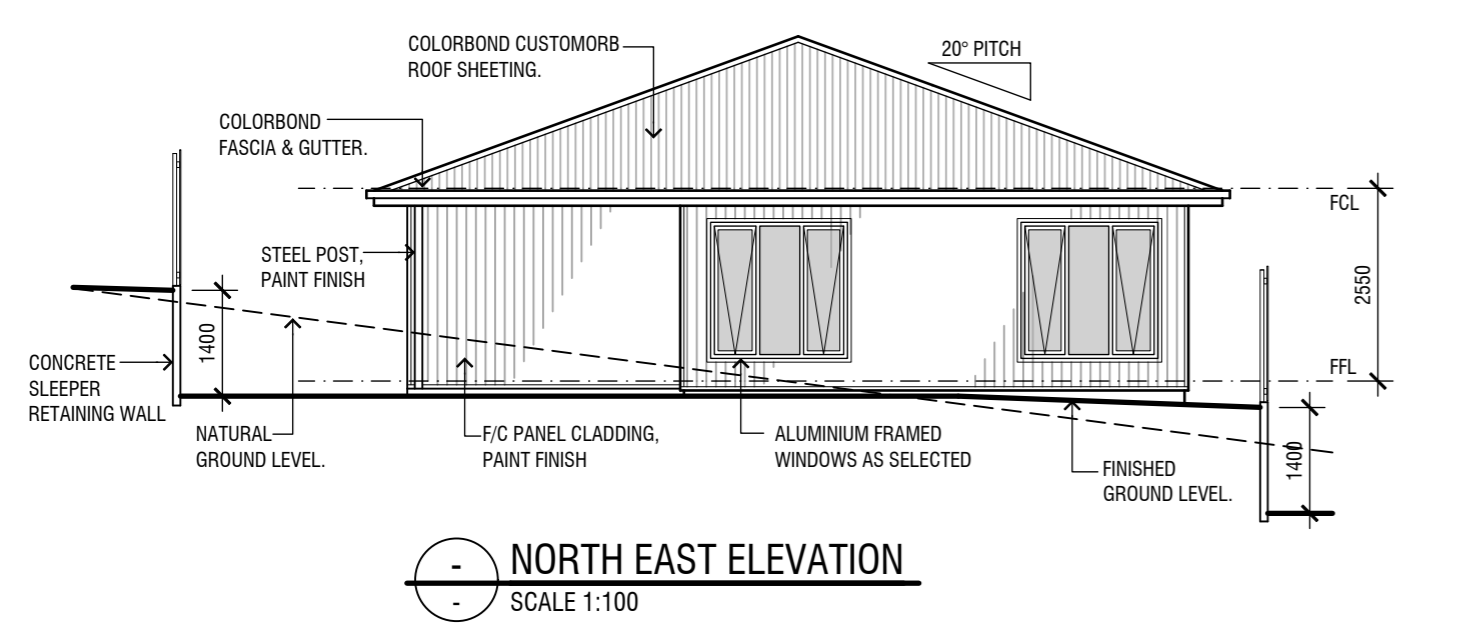
THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT. REFER SHEET A01 FOR BUILDING NOTES.



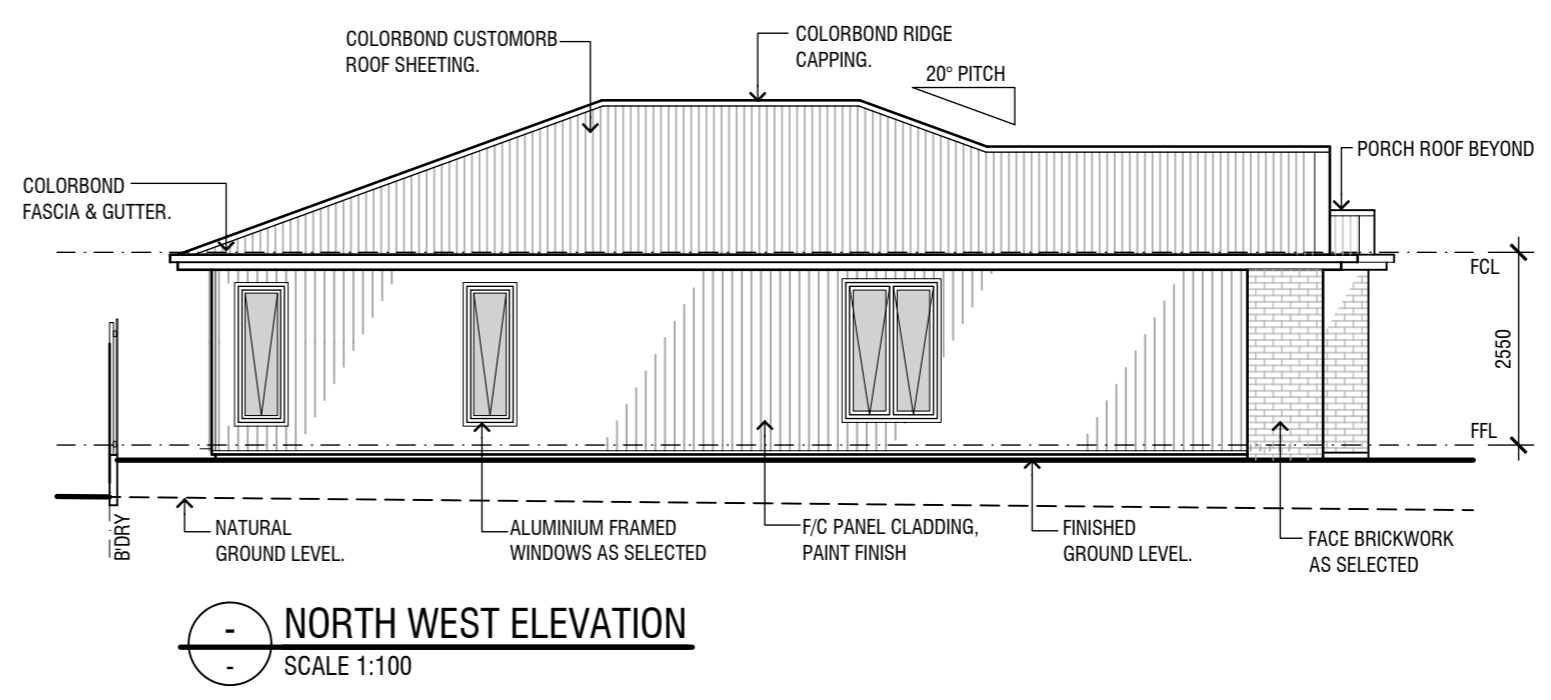
**SOUTH WEST ELEVATION**  
SCALE 1:100



**SOUTH EAST ELEVATION**  
SCALE 1:100

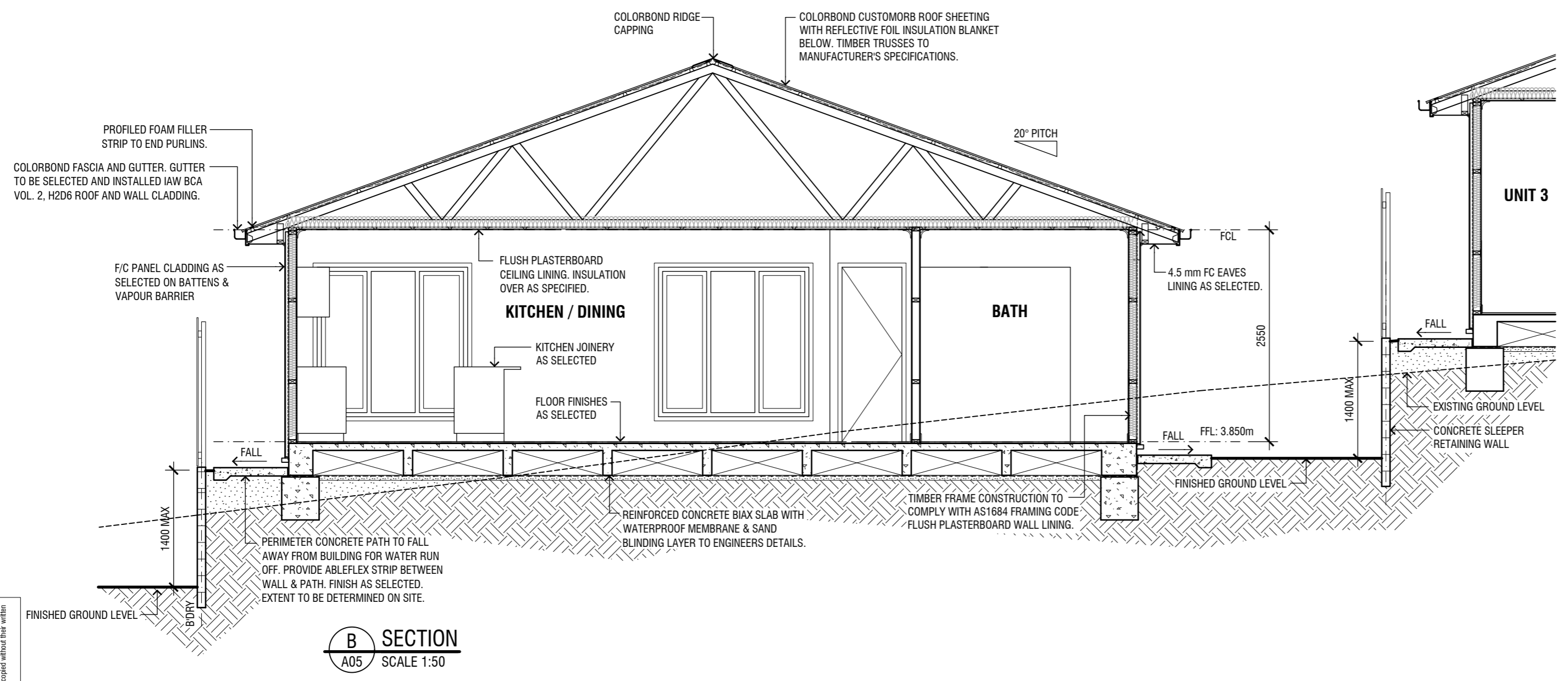
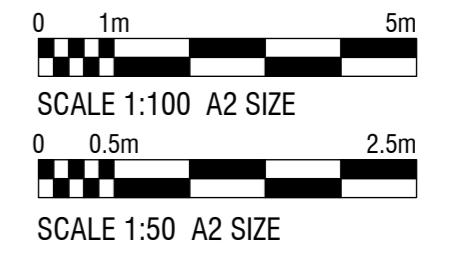


**NORTH EAST ELEVATION**  
SCALE 1:100



**NORTH WEST ELEVATION**  
SCALE 1:100

**PRELIMINARY**  
NOT FOR CONSTRUCTION



**B SECTION**  
A05 SCALE 1:50

**BASIS INSULATION NOTES:**  
**FLOORS** - NON-EPS VOID FORMER SYSTEM + REFLECTIVE FOIL UNDER.  
**ROOF** - R1.3 FOIL LINED INSULATION BLANKET  
**CEILING** - R4.5 BATTs  
**WALLS BRICK VENEER** - R2.5 BATTs + VAPOUR PERMEABLE WALL WRAP TO FRAME  
**WALLS CLADDING** - R2.5 BATTs + VAPOUR PERMEABLE WALL WRAP TO FRAME  
**INTERNAL GARAGE WALLS** - R2.5 BATTs  
**EXTERNAL DOORS** - AIR INFILTRATION SEALS  
**EXHAUST FANS** - SELF CLOSING DAMPER  
**DOWNLIGHTS** - IC-RATED

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Amendments  
 Drafted by K. Stewart, ph 0414737188



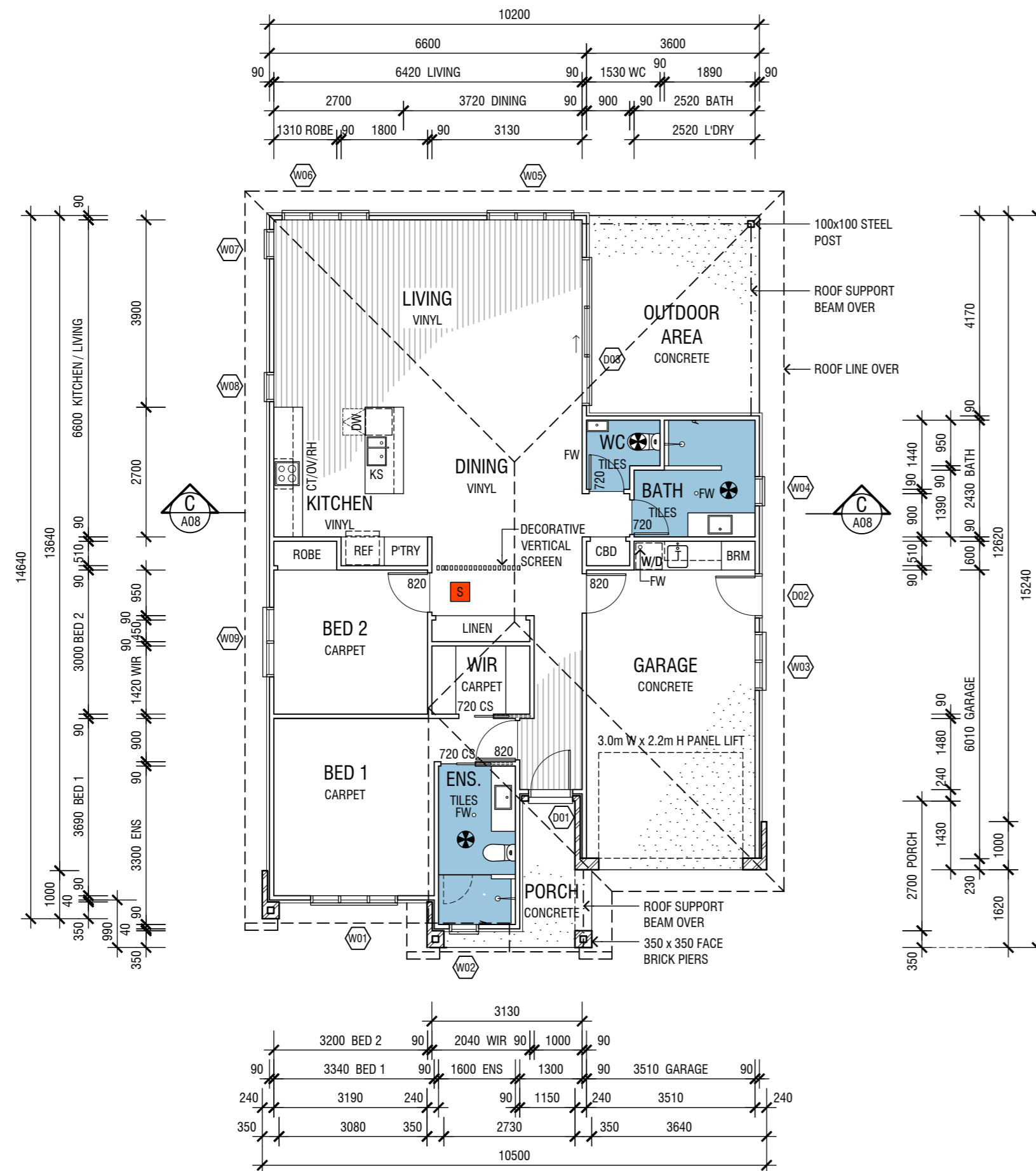
Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
 LOT 144 DP 1281496  
 107 LINGIARI DRIVE, LLOYD

Client  
**ROBERSON CONSTRUCTIONS**

Sheet Title  
**ELEVATIONS & SECTION - UNIT 2**

Date	OCT 2024	Designed	K.S.	Sheet No.	<b>A06</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	Issue / Amendment No.	
			Project No.	23-04	5

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**UNIT 3 FLOOR PLAN**  
SCALE 1:100

**WINDOW & DOOR SCHEDULE - UNIT 3**

No.	SIZE (H x W)	GLAZING (m <sup>2</sup> )	DESCRIPTION
W01	1800 x 1810	3.25 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W02	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG, OB, SAF
W03	1000 x 1210	1.21 m <sup>2</sup>	ALUMINIUM FRAMED SLIDING WINDOW
W04	1800 x 610	1.10 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG, OB, SAF
W05	1800 x 1810	3.25 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
W06	1800 x 1810	3.25 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
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W09	1800 x 1210	2.18 m <sup>2</sup>	ALUMINIUM FRAMED AWNING WINDOW, DG
D01	2100 x 920	0.50 m <sup>2</sup>	TIMBER FRAMED 820 ENTRY DOOR
D02	2100 x 920	- m <sup>2</sup>	TIMBER FRAMED 820 SOLID CORE DOOR
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- ABBREVIATIONS LEGEND**
- HH - HEAD HEIGHT
  - DG - DOUBLE GLAZED
  - FR - FROSTED GLASS
  - OB - OBSCURE GLASS
  - SAF - SAFETY GLASS
  - RES - RESTRICTED/PROTECTED OPENING
  - MOT - MOTORISED WINDOW

- SYMBOLS LEGEND**
- SMOKE DETECTOR (MAINS CONNECTED AND LINKED WITH BATTERY BACKUP). REFER BUILDING NOTES FOR COMPLIANCE STANDARDS.
  - EXHAUST FAN TO BE DUCTED THROUGH ROOF TO OUTSIDE. REFER BUILDING NOTES FOR COMPLIANCE STANDARDS.
- ABBREVIATIONS LEGEND**
- COS CONFIRM ON SITE
  - EX EXISTING
  - CS CAVITY SLIDER
  - DW DISH WASHER
  - FW FLOOR WASTE
  - KS KITCHEN SINK
  - OV OVEN
  - RH RANGE HOOD
  - SH SHELVE
  - CT COOKTOP
  - T LAUNDRY TUB
  - W/D WASHING MACHINE / DRYER
  - BRM BROOM CUPBOARD

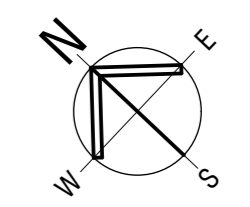
**BASIX COMMITMENTS**

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**EXTERNAL DOORS** - AIR INFILTRATION SEALS  
**EXHAUST FANS** - SELF CLOSING DAMPER  
**DOWNLIGHTS** - IC-RATED

**PRELIMINARY**  
NOT FOR CONSTRUCTION



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Amendments  
 Drafted by K. Stewart, ph 0414737188



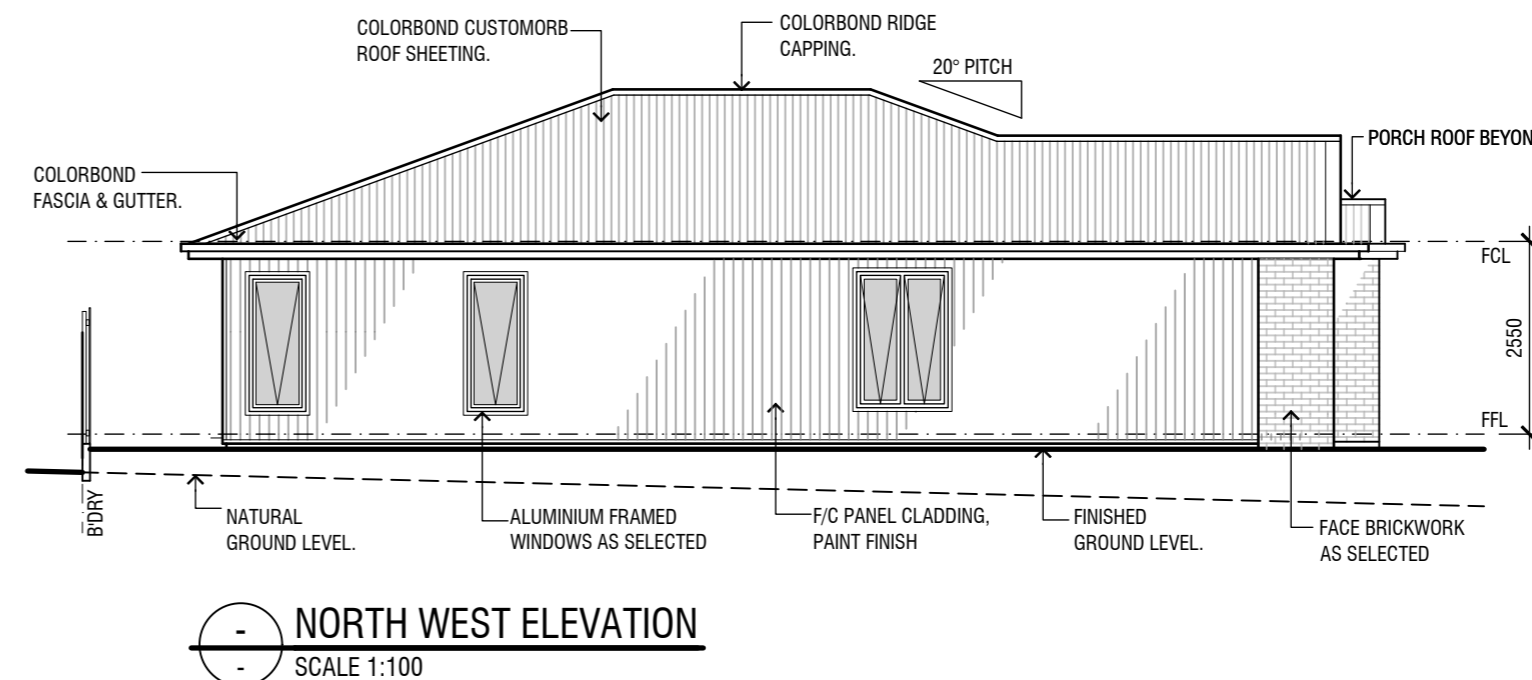
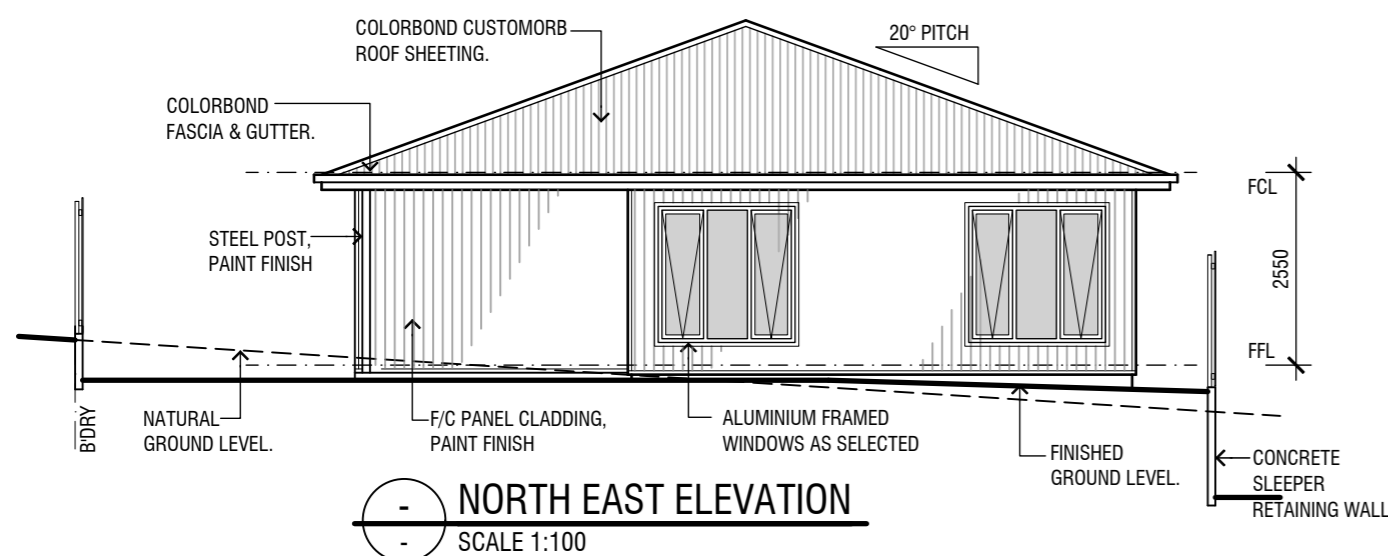
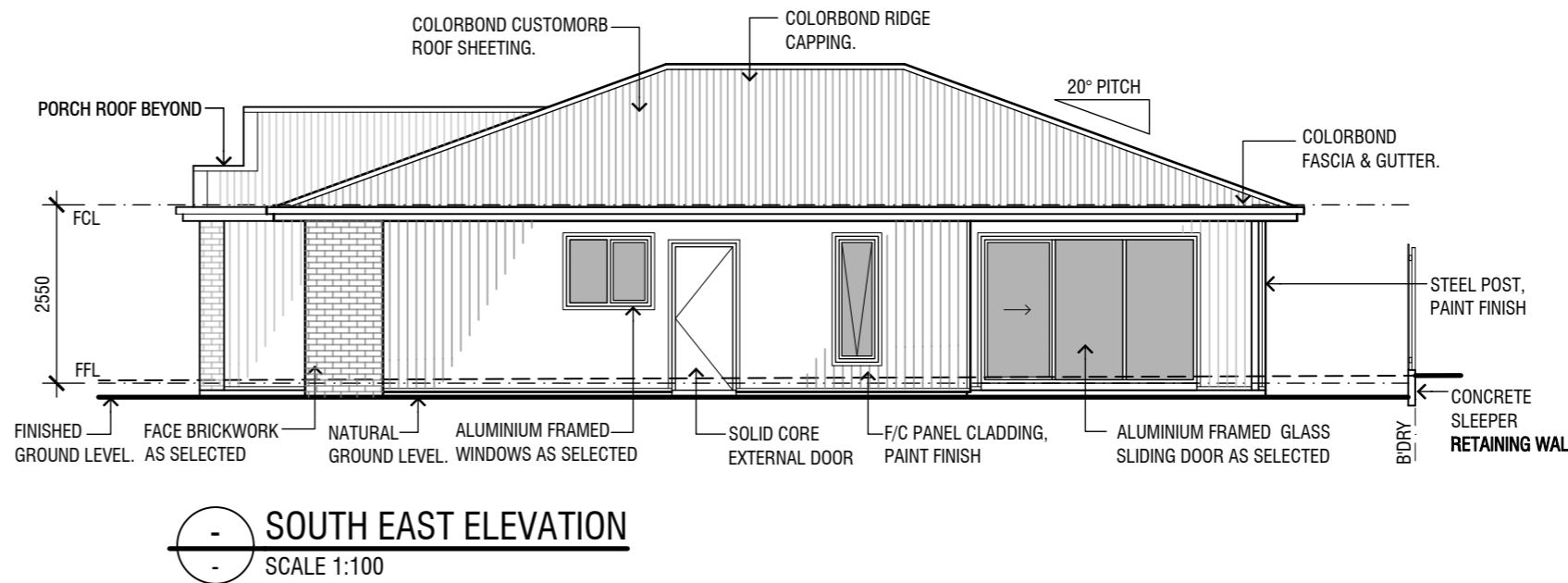
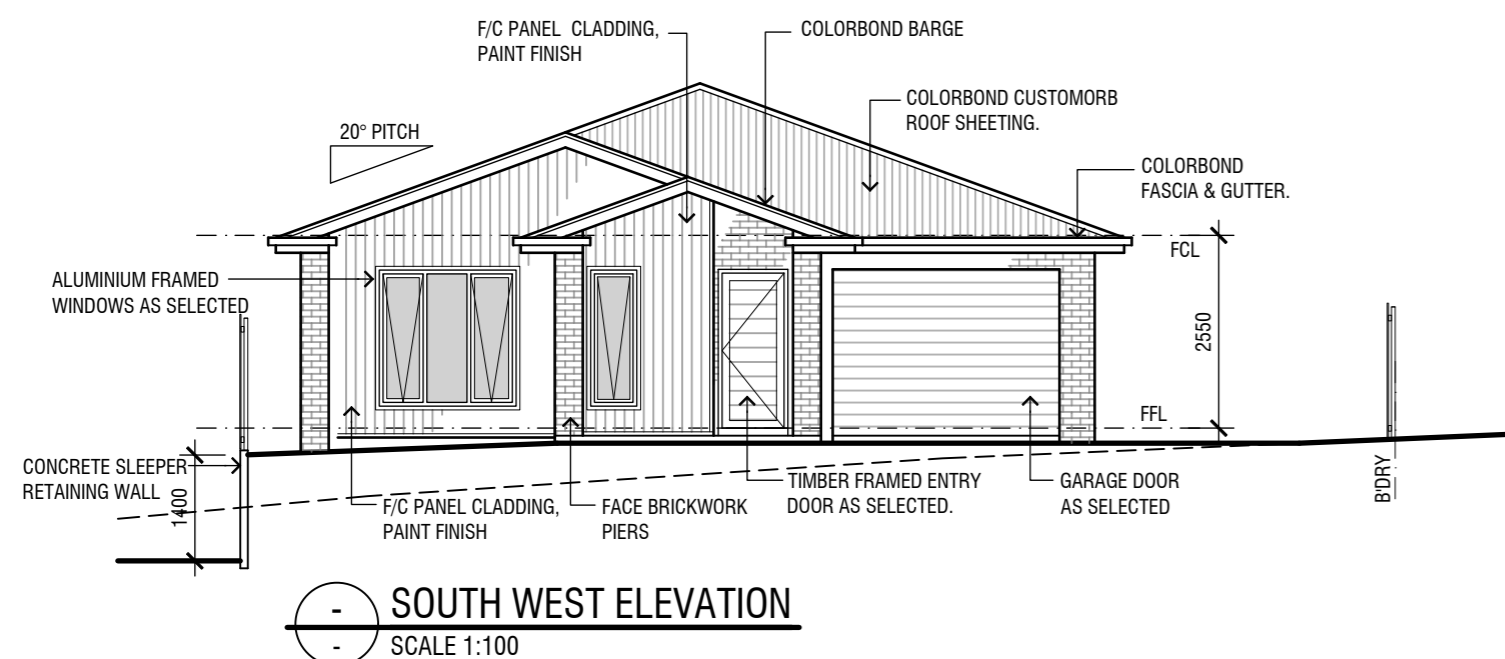
Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
 LOT 144 DP 1281496  
 107 LINGIARI DRIVE, LLOYD

Client  
**ROBERSON CONSTRUCTIONS**

Sheet Title  
**FLOOR PLAN - UNIT 3**

Date	OCT 24	Designed	K.S.	Sheet No. <b>A07</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	
		Project No.	23-04	Issue / Amendment No. 5

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT. REFER SHEET A01 FOR BUILDING NOTES.



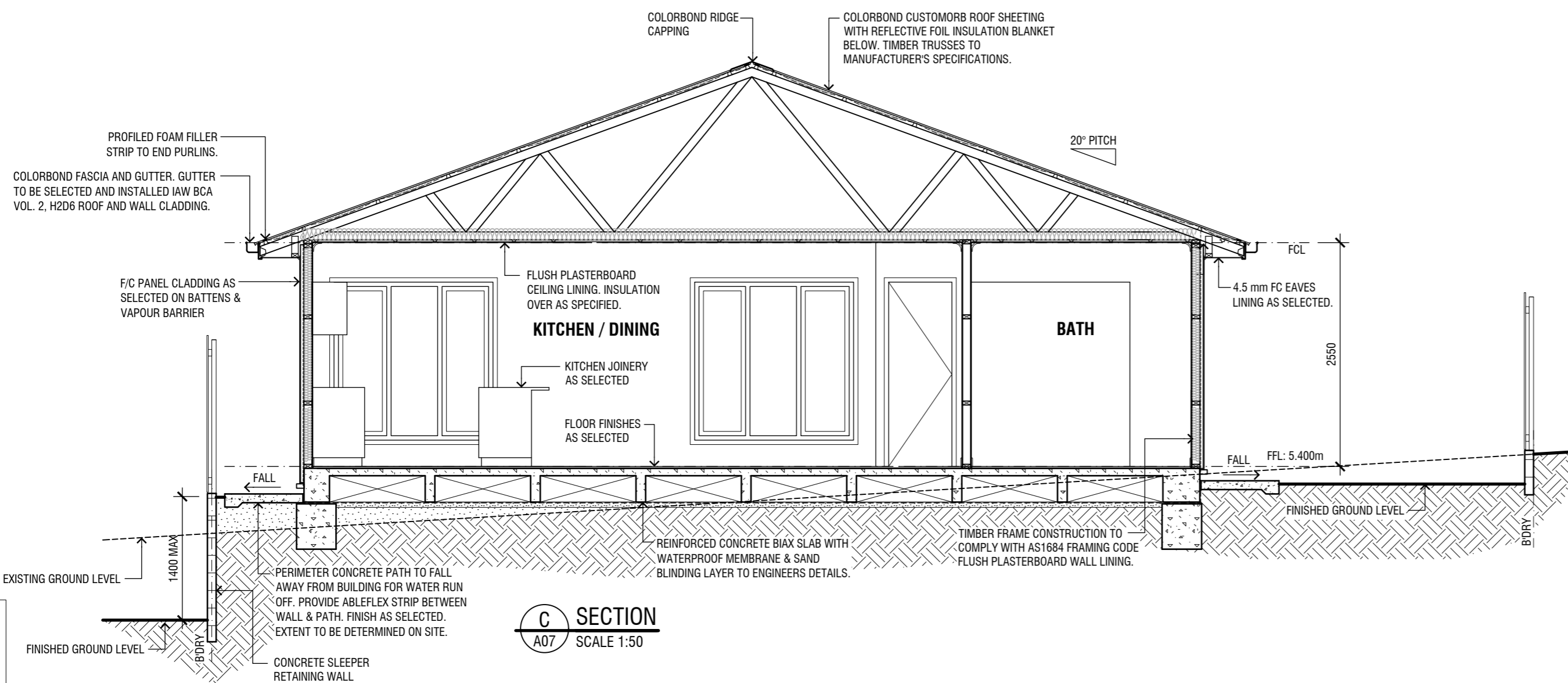
**PRELIMINARY**  
NOT FOR CONSTRUCTION



SCALE 1:100 A2 SIZE



SCALE 1:50 A2 SIZE



**BASIX INSULATION NOTES:**  
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**ROOF** - R1.3 FOIL LINED INSULATION BLANKET  
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**INTERNAL GARAGE WALLS** - R2.5 BATTS  
**EXTERNAL DOORS** - AIR INFILTRATION SEALS  
**EXHAUST FANS** - SELF CLOSING DAMPER  
**DOWNLIGHTS** - IC-RATED

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Amendments

Drafted by K. Stewart, ph 0414737188



Project  
**PROPOSED NEW UNIT DEVELOPMENT**  
**LOT 144 DP 1281496**  
**107 LINGIARI DRIVE, LLOYD**

Client  
**ROBERSON CONSTRUCTIONS**

Sheet Title  
**ELEVATIONS & SECTION - UNIT 3**

Date	OCT 2024	Designed	K.S.	Sheet No.	<b>A08</b>
Scale	AS SHOWN AT A2	Drawn	K.S.	Issue / Amendment No.	
		Project No.	23-04		5

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