



# CRAMPTON CENTRAL

## Lot 4

10/53 CRAMPTON ST  
WAGGA WAGGA



Living: 144.5m<sup>2</sup>

Total: 204.9m<sup>2</sup>



**Disclaimer:** Whilst every attempt has been made to ensure the accuracy of this floor plan. This is an artist's impression and as such intended as an approximate guide.

**areas:**


living - 144.5m<sup>2</sup>  
garage - 38.2m<sup>2</sup>  
pergola - 20.9m<sup>2</sup>  
porch - 1.3m<sup>2</sup>  
**total - 204.9m<sup>2</sup>**

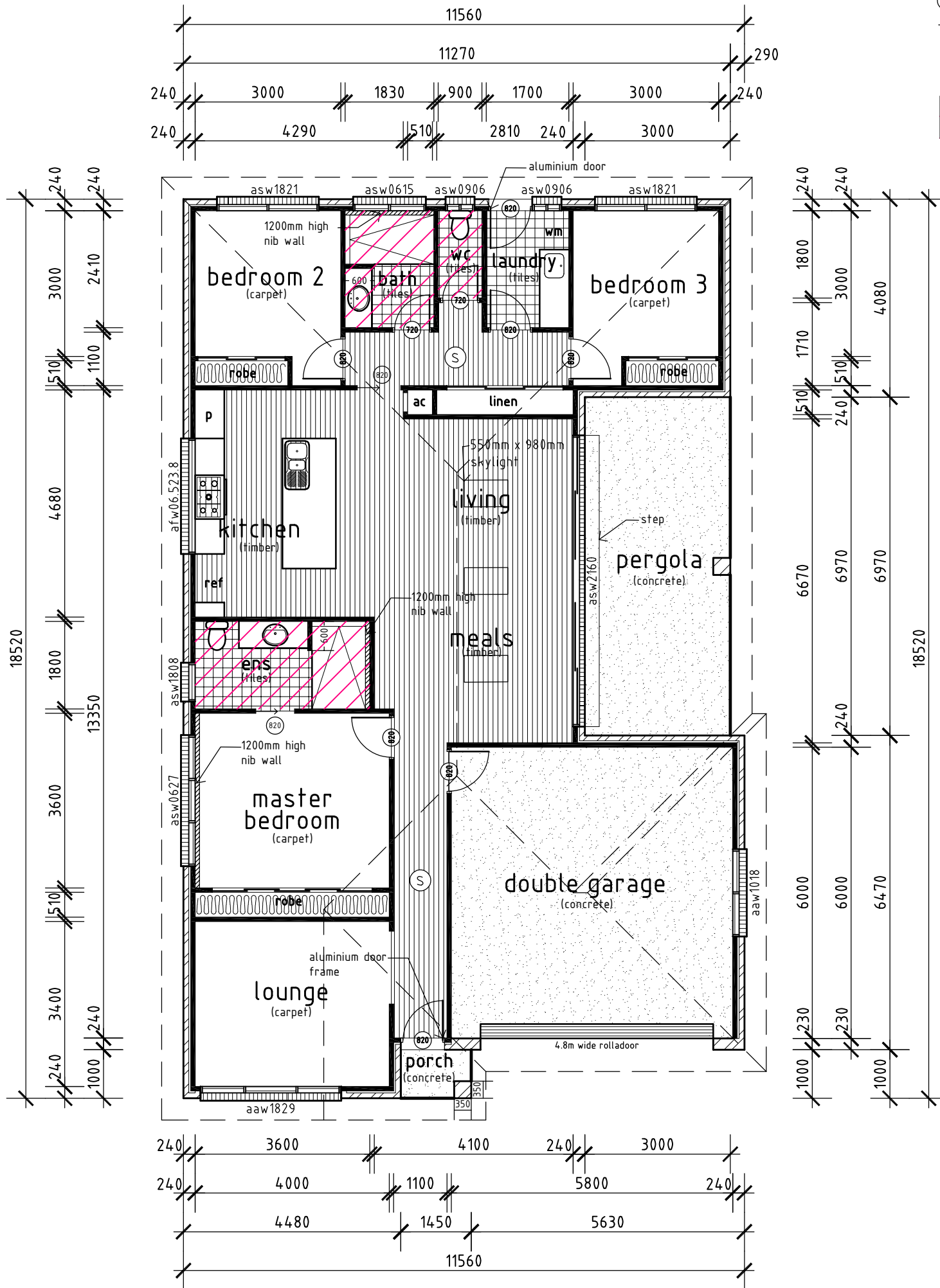
# LOT 4

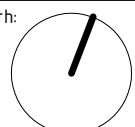

**WINDOW KEY:**  
window sizes are indicated by the type of window first:  
asw = aluminium sliding window  
aaw = aluminium awning window  
adh = aluminium double hung  
asd = aluminium sliding door  
then size:  
1012 = 1.0m high x 1.2m wide  
eg: asw1012 = aluminium sliding window 1.0m high x 1.2m wide

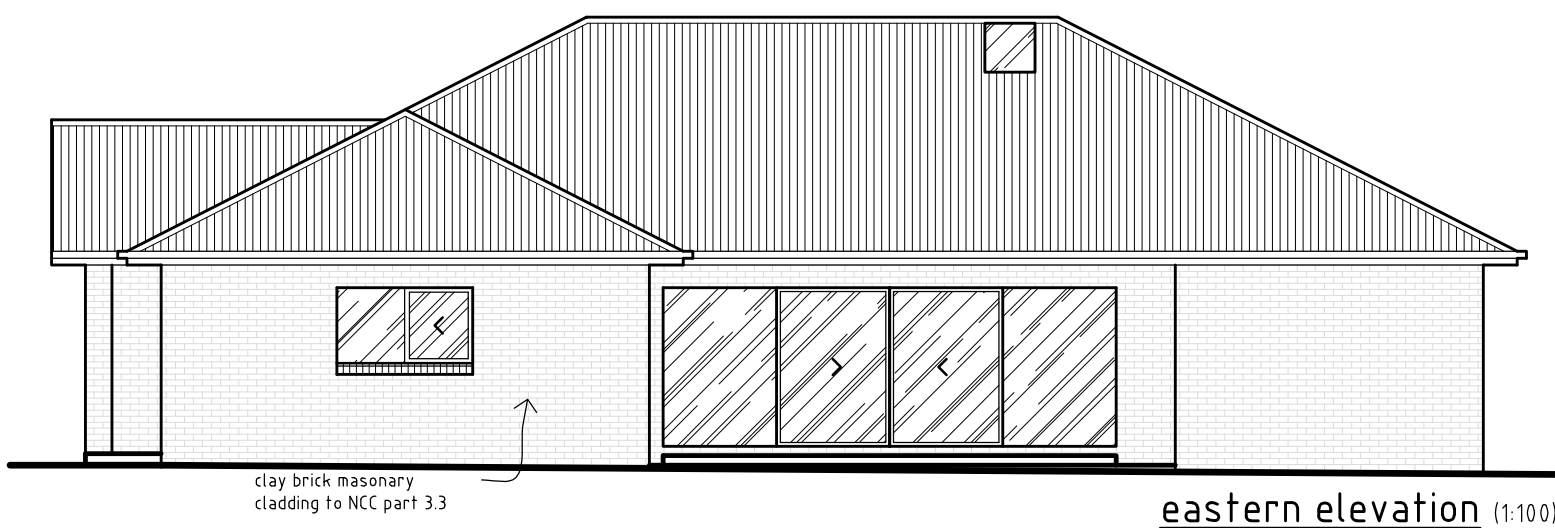
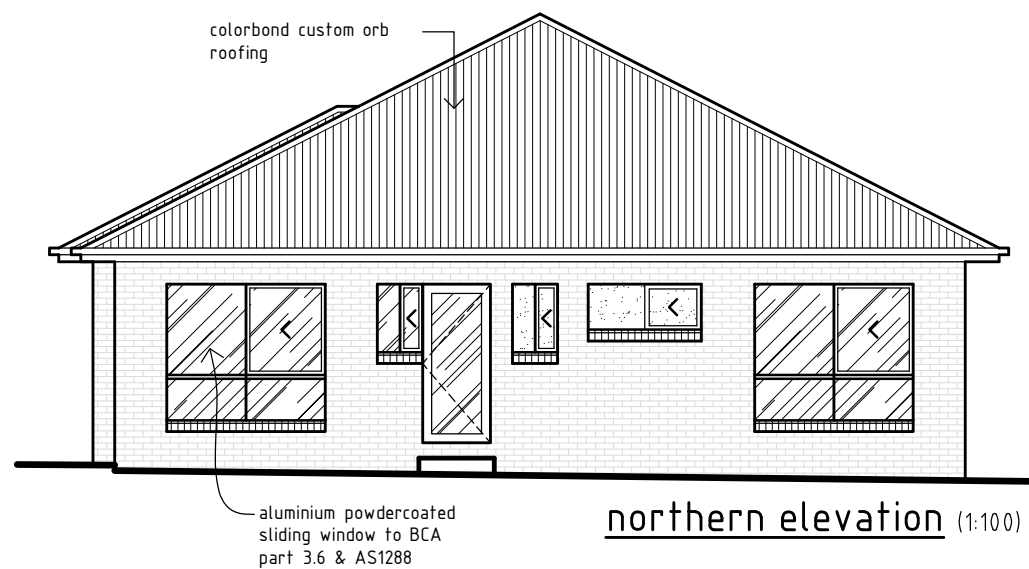
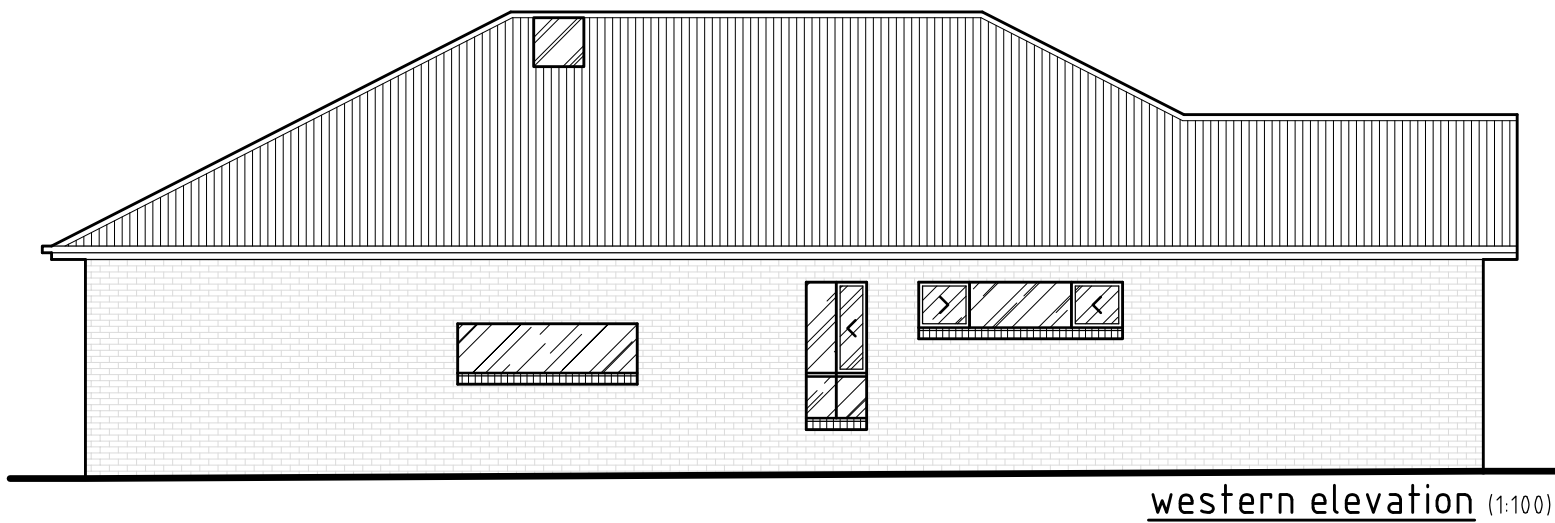
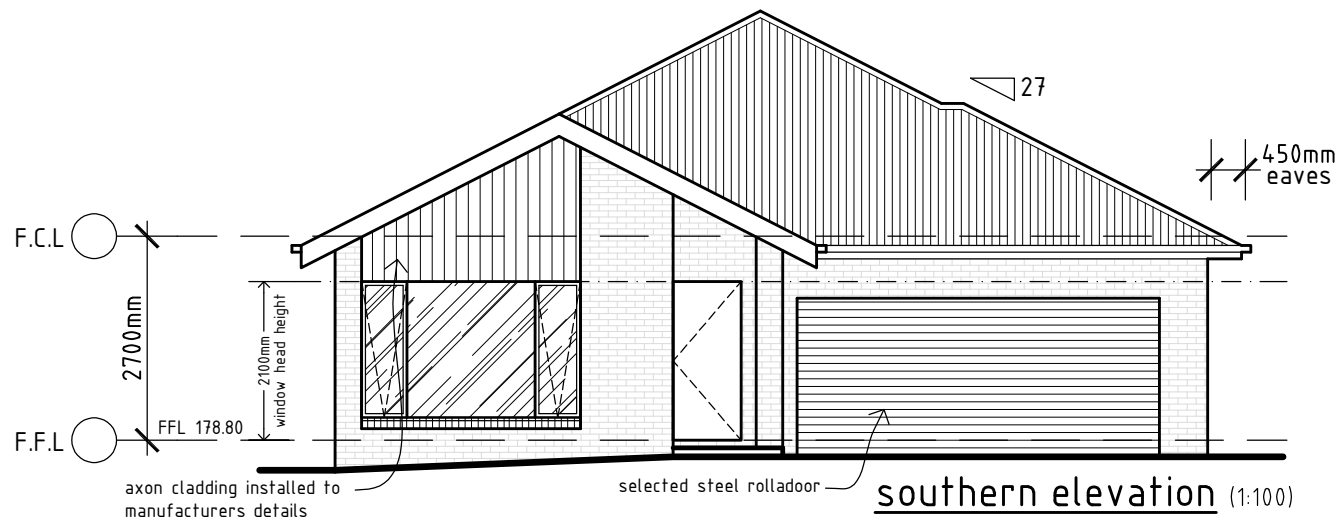
(S) - hardwired smoke alarm  
⊕ - 300mm skylight

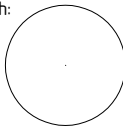

exhaust fans to comply with NCC 3.8.7

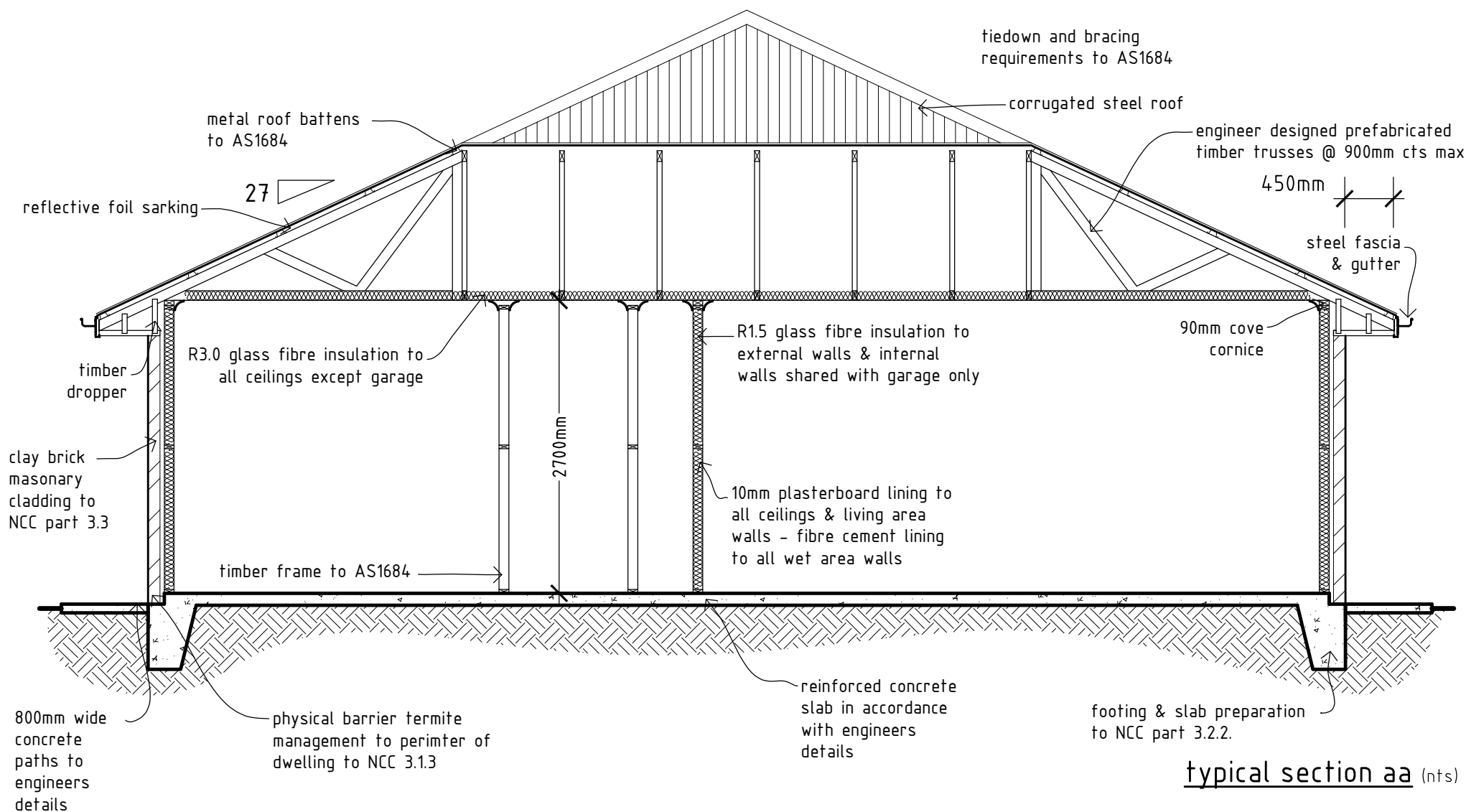
 area of heated floor to manufacturers details



		job: <b>PROPOSED 16 RESIDENCE</b>	north: 		 <b>JONES DESIGNS</b>	
1 6.12.23 issued for quoting		client: <b>OLD GIRL</b>	date: 29/3/23			designed: A. Jones
No date amendment		location: <b>LOT 1,6,&amp;7 53 CRAMPTON ST WAGGA WAGGA</b>	scale: 1:100 @ A3		c'ked: A. Jones	
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702		drawing title: <b>FLOOR PLAN LOT 4</b>	This plan is protected by <b>copyright©</b>		drawing number: <b>2021026</b>	sheet #: <b>1/4</b>
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typical section aa (nts)

**GENERAL NOTES:**

1. These drawing shall be read in conjunction with the specifications & drawing supplied by engineers, with BASIX report & with any other information
2. Prior to the commencement of work it is the responsibility of the building contractor to check & confirm all dimensions, heights, setbacks, levels, windows, etc.
3. Installation of all materials & fittings shall always be in strict accordance with manufacturers and suppliers instructions and in accordance with NCC and Australia Standard
4. All contractors / Sub-contractors shall be fully licensed & approved in their relevant trade & are to comply with all the standards, codes & best practices relevant to their particular trades.
5. The building contractor is to visit the site of the proposed works & confer with the Owner/Developer to fully determine the nature and scope of the works.
6. The building contractor is to ensure that the site of the proposed works is made safe and secure from access by others during construction in accordance with Local Authority & OHS requirements.

**Water Commitments**

**Landscape**  
Area of indigenous or low water use species = 54.7m<sup>2</sup>

**Fixtures**  
Showerheads = 4 star (>6 but <7.5L/min)  
Kitchen taps & basin taps = 4 star  
Toilets = 4 star

**Thermal Comfort Commitments**

**General features**  
The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys  
The conditioned floor area of the dwelling must not exceed 300 m<sup>2</sup>  
The dwelling must not contain open mezzanine area exceeding 25m<sup>2</sup>  
The dwelling must not contain third level habitable attic room.

**Floor, walls and ceiling / roof**  
Floor = concrete slab on ground, nil  
External wall = brick veneer, 2.06 or (2.6 including construction)  
External wall = frame weatherboard, 2.20 or (2.6 including construction)  
Internal wall shared with garage = plasterboard, 0.84 (or 1.20 including construction)  
Ceiling and roof = flat ceiling / pitched roof, ceiling: 3.5 (up), roof: foil/sarking, solar absorbance >0.70

**Windows, glazed doors and skylights**

**North Facing**  
W1, Height = 1800 Width = 2100, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a  
W2, Height = 600 Width = 1500, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a  
W3, Height = 900 Width = 600, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a  
W4, Height = 900 Width = 600, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a  
W5, Height = 1800 Width = 2100, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a

**East Facing**  
W6, Height = 2100 Width = 6000, Type = aluminium - single clear, Shading = eave 3450mm, 300mm above head of window/glazed door, Overshadowing = n/a

**South Facing**  
W7, Height = 1800 Width = 2900, Type = aluminium - single clear, Shading = eave 575mm, 1000mm above head of window/glazed door, Overshadowing = n/a

**West Facing**  
W8, Height = 600 Width = 2700, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a  
W9, Height = 1800 Width = 800, Type = aluminium - single clear, Shading = eave 575mm, 300mm above head of window/glazed door, Overshadowing = n/a  
W10, Height = 650 Width = 3800, Type = aluminium - single clear, Shading = eave 850mm, 300mm above head of window/glazed door, Overshadowing = n/a

**Energy Commitments**

**Hot Water**  
Hot water Unit = gas instantaneous - 5 star.

**Cooling System**  
Cooling Unit = 1 phase aircon 4 star

**Heating System**  
Heating Unit = 1 phase aircon 4 star

**Ventilation**  
At least 1 Bathroom = individual fan, not ducted; Operation control: manual switch on/off.  
Kitchen = individual fan, ducted to facade or roof; Operation control: manual switch on/off.  
Laundry = natural ventilation only, or no laundry; Operation control: n/a.

**Artificial Lighting**  
Primary type of artificial light is fluorescent or LED in dedicated  
- at least 3 of the bedrooms / study, dedicated  
- 2 living / dining room, dedicated

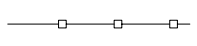
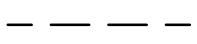
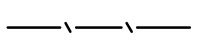


**Natural Lighting**  
2 Bathroom(s) / toilet(s) = Window and/or skylight

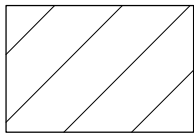
**Other**  
The applicant must install an induction cook top & electric oven in the kitchen of the dwelling.  
The applicant must install a fixed outdoor clothes drying line as part of the development.

**BASIX** Building Sustainability Index  
**Certificate # 1382806S**

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No	date	amendment			
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					sheet #: <b>3/4</b>



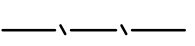
legend:

-  geotextile filter fabric
-  24m2 open space
-  1.8m high colorbond panel fence
- Ⓐ easement to drain sewage 20 wide
- mb - mail box
- cda - clothes line
- bs - bin storage
-  - gas meter
-  - water meter



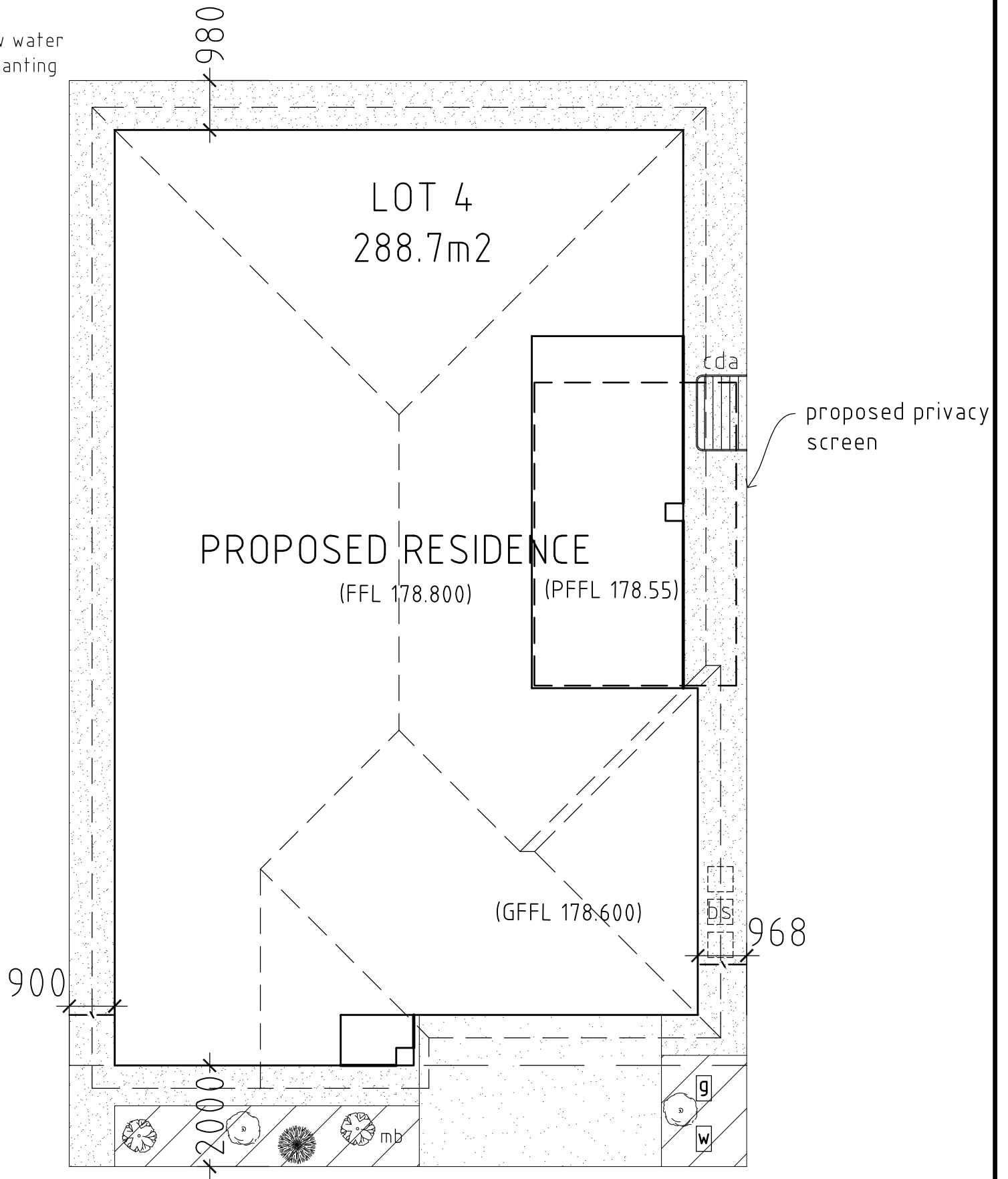
10.9m2 of Designated low water use/indigenous BASIX planting as per WCC Landscape Guidelines

legend:






-  24m2 open space
-  100mm UPVC stormwater pipe
-  1.8m high colorbond panel fence
- swp - storm water pit
- cda - clothes drying area
- bs - bin storage
- mb - brick mail box
- cd - channel drain
- all plumbing to be confined by Plumber

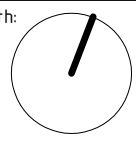

landscape legend:

- turf to block: 0m2
- landscaped garden area: 10.9m2
- total site landscaping area: 10.9m2
- concrete paths: 57.7m2
- concrete driveway: 14.4m2
- 63% site coverage**
- all plumbing to be confined by Plumber



plant legend:

	botanical name	pot size	spacing	# plants
	melaleuca linarifolia 'snow in summer'	300mm	n/a	0
	Allium schoenoprasum	100mm	500mm	1
	Grevillea ilicifolia	100mm	500mm	2
	Origanum vulgare	100mm	500mm	2
	kikuyu grass			
all garden beds to be filled with pine bark chip mulch				

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