

areas:


living - 144.5m²
 garage - 38.2m²
 pergola - 20.9m²
 porch - 1.3m²
total - 204.9m²

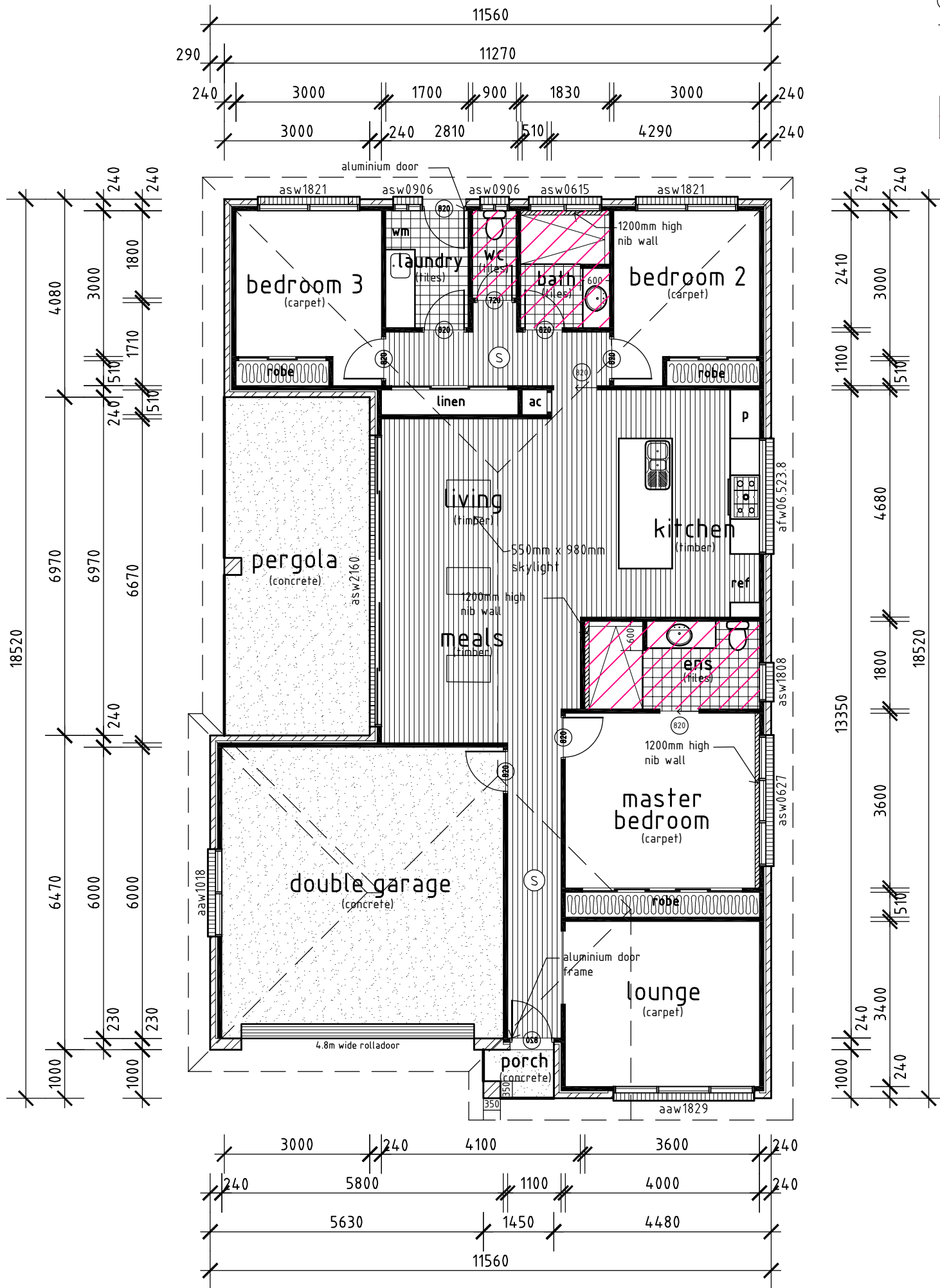
LOT 7

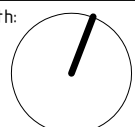

WINDOW KEY:
 window sizes are indicated by the type of window first:
 asw = aluminium sliding window
 aaw = aluminium awning window
 adh = aluminium double hung
 asd = aluminium sliding door
 then size:
 1012 = 1.0m high x 1.2m wide
 eg: asw1012 = aluminium sliding window 1.0m high x 1.2m wide

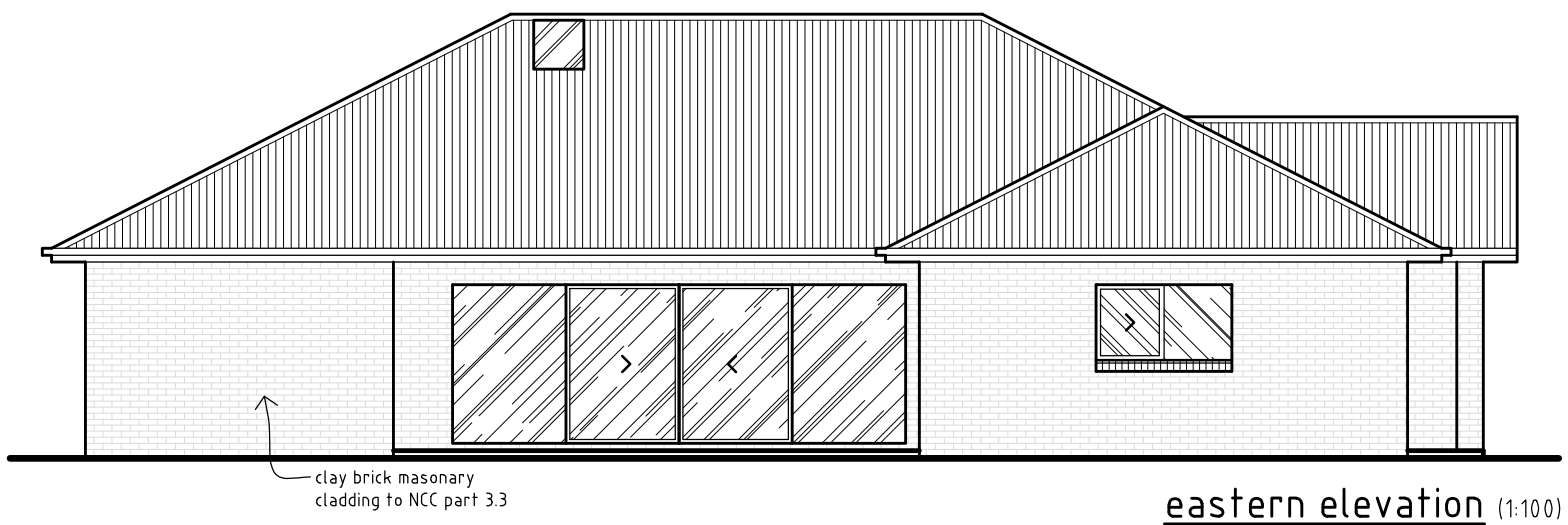
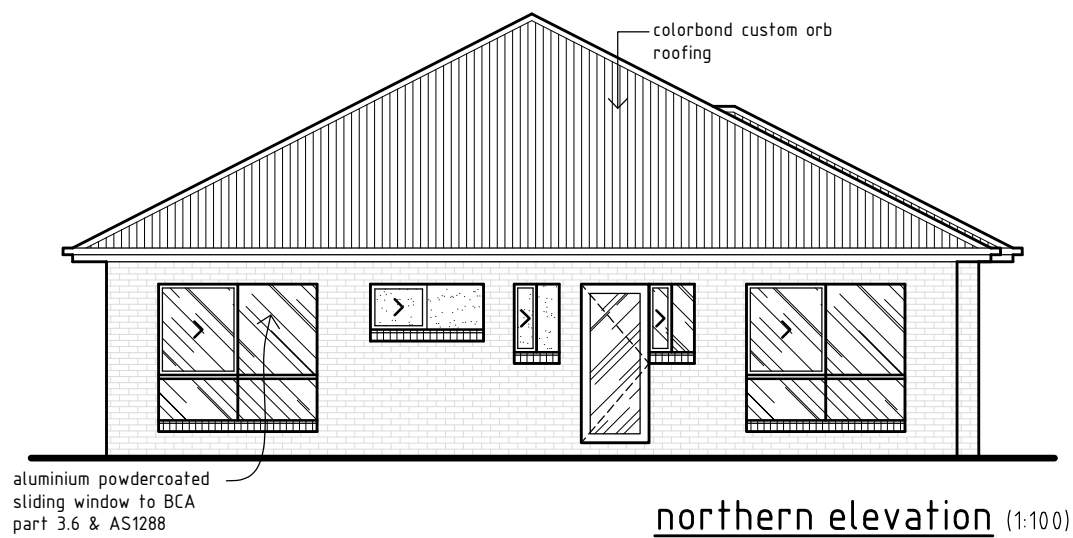
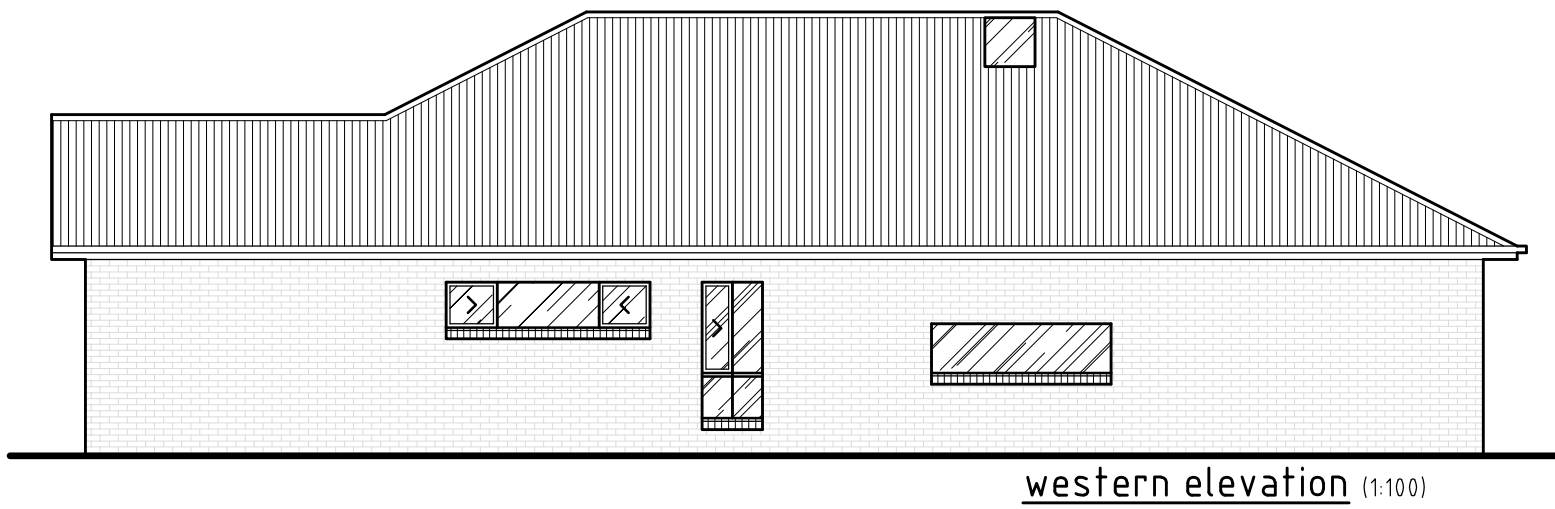
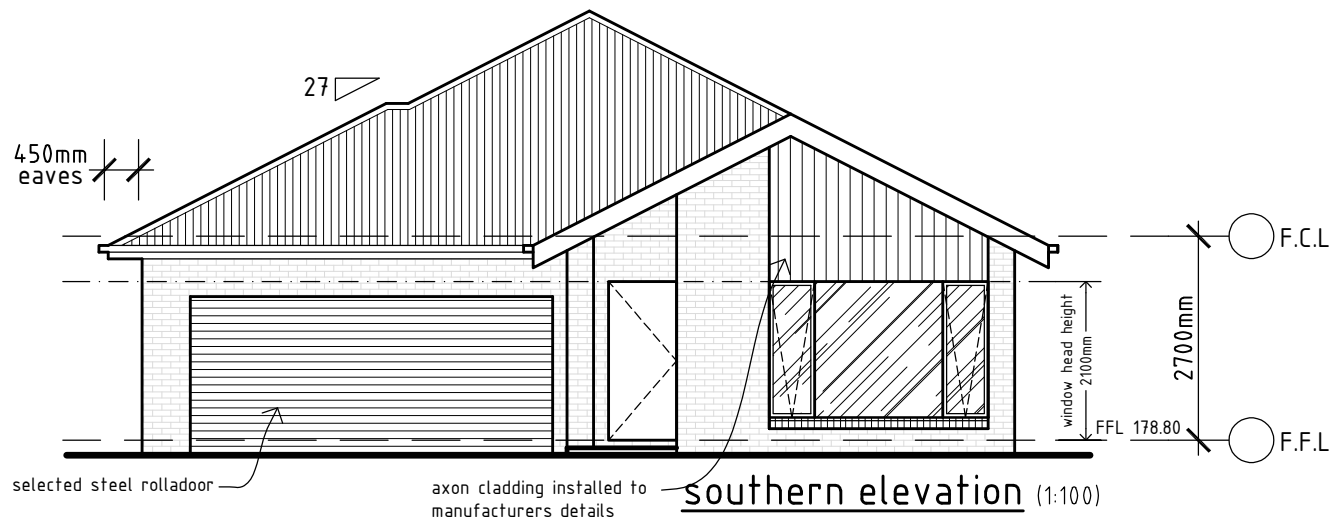
Ⓢ - hardwired smoke alarm
 ☼ - 300mm skylight

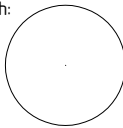

exhaust fans to comply with NCC 3.8.7

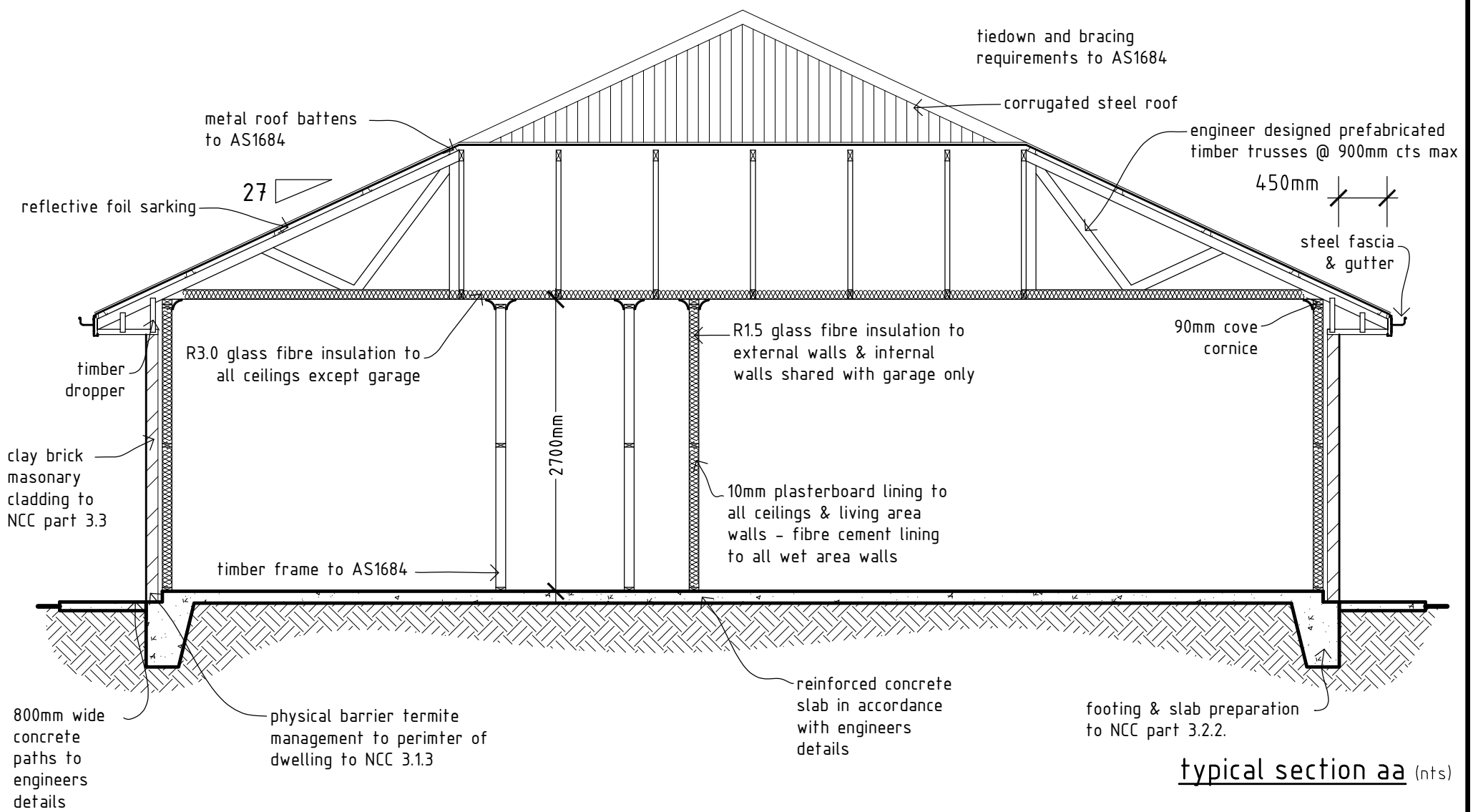
 area of heated floor to manufacturers details



		job: PROPOSED 16 RESIDENCE		north: 		 JONES DESIGNS		
1 6.12.23 issued for quoting		client: OLD GIRL		date: 29/3/23				designed: A. Jones
No date amendment		location: LOT 1,6,&7 53 CRAMPTON ST WAGGA WAGGA		scale: 1:100 @ A3		drawn: A. Jones	drawing number: 2021026	sheet #: 1/4
A.Jones - 115 Bradman Dr Boorooma NSW 2650 - PH: 0439 715 702		drawing title: FLOOR PLAN LOT 7		This plan is protected by copyright ©				
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		job: PROPOSED 16 RESIDENCE		north: 					
		client: OLD GIRL		date: 29/3/23				designed: A. Jones	c'ked:
1	6.12.23	issued for quoting		location: LOT 1,6,&7 53 CRAMPTON ST WAGGA WAGGA		scale: 1:100 @ A3	drawn: A. Jones	drawing number:	sheet #:
No	date	amendment		drawing title: ELEVATIONS LOT 7		This plan is protected by copyright©		2021026	2/4
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GENERAL NOTES:

1. These drawing shall be read in conjunction with the specifications & drawing supplied by engineers, with BASIX report & with any other information
2. Prior to the commencement of work it is the responsibility of the building contractor to check & confirm all dimensions, heights, setbacks, levels, windows, etc.
3. Installation of all materials & fittings shall always be in strict accordance with manufacturers and suppliers instructions and in accordance with NCC and Australia Standard
4. All contractors / Sub-contractors shall be fully licensed & approved in their relevant trade & are to comply with all the standards, codes & best practices relevant to their particular trades.
5. The building contractor is to visit the site of the proposed works & confer with the Owner/Developerto fully determine the nature and scope of the works.
6. The building contractor is to ensure that the site of the proposed works is made safe and secure from access by others during construction in accordance with Local Authority & OHS requirements.

Water Commitments

Landscape
Area of indigenous or low water use species = 54.7m²

Fixtures
Showerheads = 4 star (>6 but <7.5L/min)
Kitchen taps & basin taps = 4 star
Toilets = 4 star

Thermal Comfort Commitments

General features
The dwelling must be a Class 1 dwelling according to the Building Code of Australia, and must not have more than 2 storeys
The conditioned floor area of the dwelling must not exceed 300 m²
The dwelling must not contain open mezzanine area exceeding 25m²
The dwelling must not contain third level habitable attic room.

Floor, walls and ceiling / roof

Floor = concrete slab on ground, nil
External wall = brick veneer, 2.06 or (2.6 including construction)
External wall = framws weatherboard, 2.20 or (2.6 including construction)
Internal wall shared with garage = plasterboard, 0.84 (or 1.20 including construction)
Ceiling and roof = flat ceiling / pitched roof, ceiling: 3.5 (up), roof: foil/sarking, solar absorbance >0.70

Windows, glazed doors and skylights

North Facing
W1, Height = 1800 Width = 2100, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a
W2, Height = 600 Width = 1500, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a
W3, Height = 900 Width = 600, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a
W4, Height = 900 Width = 600, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a
W5, Height = 1800 Width = 2100, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a

East Facing
W7, Height = 600 Width = 2700, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a
W8, Height = 1800 Width = 800, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a
W9, Height = 650 Width = 3800, Type = aluminium - single clear, Shading = eave 850mm , 300mm above head of window/glazed door, Overshadowing = n/a

South Facing
W7, Height = 1800 Width = 2900, Type = aluminium - single clear, Shading = eave 575mm , 1000mm above head of window/glazed door, Overshadowing = n/a

West Facing
W10, Height = 2100 Width = 6000, Type = aluminium - single clear, Shading = eave 575mm , 300mm above head of window/glazed door, Overshadowing = n/a

Energy Commitments

Hot Water
Hot water Unit = gas instantaneous - 5 star.

Cooling System
Cooling Unit = 1 phase aircon 4 star

Heating System
Heating Unit = 1 phase aircon 4 star

Ventilation
At least 1 Bathroom = individual fan, not ducted; Operation control: manual switch on/off.
Kitchen = individual fan, ducted to facade or roof; Operation control: manual switch on/off.
Laundry = natural ventilation only, or no laundry; Operation control: n/a.

Artificial Lighting
Primary type of artificial light is fluorescent or LED in dedicated
- at least 3 of the bedrooms / study, dedicated
- 2 living / dining room, dedicated

Natural Lighting
2 Bathroom(s) / toilet(s) = Window and/or skylight

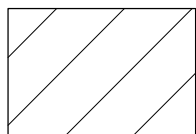
Other
The applicant must install an induction cook top & electric oven in the kitchen of the dwelling.
The applicant must install a fixed outdoor clothes drying line as part of the development.

BASIX Building Sustainability Index
Certificate # 1383560S

		job: PROPOSED 16 RESIDENCE	north:		
		client: OLD GIRL			
1	6.12.23	issued for quoting			
No	date	amendment			
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this drawing is protected by copyright laws and can not be copied, altered or reproduced without the written permission of Andrew Jones			drawing title: FLOOR PLAN LOT 7	This plan is protected by copyright ©	date: 29/3/23
					designed: A. Jones
					c'ked: A. Jones
					drawing number: 2021026
					sheet #: 3/4

legend:

- geotextile filter fabric
- - - - - 24m2 open space
- \—\—\— 1.8m high colorbond panel fence
- ⓐ easement to drain sewage 20 wide
- mb - mail box
- cda - clothes line
- bs - bin storage
- g - gas meter
- w - water meter



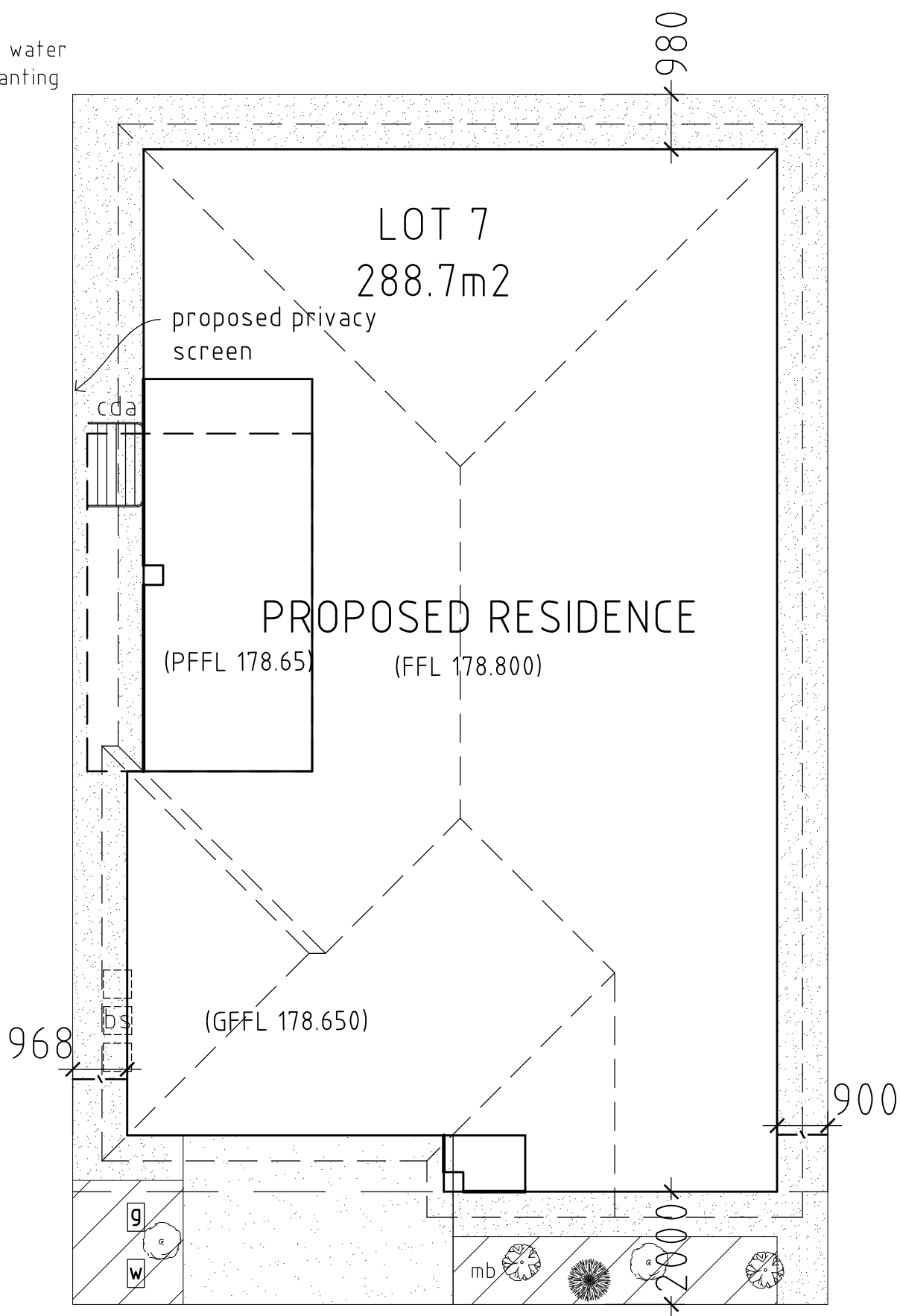
10.9m2 of Designated low water use/indigenous BASIX planting as per WWCC Landscape Guidelines

legend:

- - - - - 24m2 open space
- 100mm UPVC stormwater pipe
- \—\—\— 1.8m high colorbond panel fence
- swp - storm water pit
- cda - clothes drying area
- bs - bin storage
- mb - brick mail box
- cd - channel drain
- all plumbing to be confined by Plumber

landscape legend:

- turf to block: 0m2
- landscaped garden area: 10.9m2
- total site landscaping area: 10.9m2
- concrete paths: 57.7m2
- concrete driveway: 14.4m2
- 63% site coverage**
- all plumbing to be confined by Plumber



plant legend:				
	botanical name	pot size	spacing	# plants
	melaleuca linarifolia 'snow in summer'	300mm	n/a	0
	Allium schoenoprasum	100mm	500mm	1
	Grevillea ilicifolia	100mm	500mm	2
	Origanum vulgare	100mm	500mm	2
	kikuyu grass			
all garden beds to be filled with pine bark chip mulch				

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