

AREAS

LIVING =	149.0 m ²
GARAGE =	40.8 m ²
OUTDOOR AREA =	25.4 m ²
PORCH =	4.8 m ²
TOTAL ENCLOSED AREA =	189.8 m²
ROOF AREA =	247.4 m²
SITE AREA PER DWELLING:	
MIN AREA PER DWELLING (R1) =	375 m ²
ACTUAL AREA PER DWELLING =	417.4 m ²
SITE COVERAGE:	
SITE COVERAGE MAX (R1) =	50%
MAX 50% x 834.7 =	417.35 m ²
ACTUAL ENCLOSED SITE COVERAGE:	
EXISTING RESIDENCE =	77.0 m ²
APPROVED ADDITIONS =	84.7 m ²
PROPOSED NEW RESIDENCE =	189.8 m ²
TOTAL ENCLOSED SITE COVER =	351.5 m²

SEWER & STORMWATER NOTE

PLUMBING AND DRAINAGE DESIGN & INSTALLATION TO BE IN ACCORDANCE WITH NCC PLUMBING CODE OF AUSTRALIA AND AS/NZS 3500 PLUMBING AND DRAINAGE PARTS 0,1,2,3 & 4.
 PLUMBING CONTRACTOR SHALL ENSURE THE DESIGN AND INSTALLATION IS IN COMPLIANCE WITH THE ABOVE AND SHALL LOCATE ALL BOUNDARY RISERS & MAINS SPURS PRIOR TO COMMENCEMENT OF WORK.
 CONNECT NEW SEWER & STORMWATER PIPE SYSTEM TO EXISTING COUNCIL MAINS SYSTEM.
 OR CONNECT TO NEW OR EXISTING ON-SITE SEWER TREATMENT SYSTEM.

BASIX NOTES:

THESE PLANS TO READ IN CONJUNCTION WITH THE ASSOCIATED BASIX CERTIFICATE.
 ALL RELEVANT FITTINGS, FIXTURES & APPLIANCES TO COMPLY WITH OR EXCEED THE MINIMUM REQUIREMENTS NOTED IN THE BASIX CERTIFICATE.

WORKPLACE HEALTH & SAFETY

DURING CONSTRUCTION AND THE ON GOING MAINTENANCE OF THIS BUILDING ENSURE WORKPLACE HEALTH AND SAFETY IS FULLY UNDERSTOOD AND IMPLEMENTED BY ALL PERSONS INVOLVED WITH THIS JOB.

REFER TO THE PRELIMINARIES WORKSECTION IN THE SPECIFICATION FOR THE EXPLANATIONS OF THE 10 KEY AREAS OF INFLUENCE. THESE AREAS ARE AS FOLLOWED;

- FALLS, SLIPS AND TRIPS,
- FALLING OBJECTS,
- TRAFFIC MANAGEMENT,
- SERVICES,
- MANUAL TASKS,
- HAZARDOUS SUBSTANCES,
- CONFINED SPACES,
- PUBLIC ACCESS,
- OPERATION USE OF BUILDING RESIDENTIAL BUILDINGS,
- OTHER HIGH RISK ACTIVITY.

THIS DRAWING IS TO BE READ IN CONJUNCTION WITH ALL DRAWINGS AND SPECIFICATIONS RELATING TO THIS PROJECT. REFER SHEET A01 FOR BUILDING NOTES.

BUILDING NOTES:

ALL DIMENSIONS TO BE CHECKED ON SITE PRIOR TO COMMENCEMENT OF WORKS. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING. THESE PLANS TO BE READ IN CONJUNCTION WITH ALL OTHER ASSOCIATED DOCUMENTS.

BUILDER TO ENSURE ALL UNDERGROUND SERVICES, PIPES AND CABLES TO BE LOCATED PRIOR TO EXCAVATION. GO TO www.byda.com.au FOR SERVICES INFORMATION.

SITE: THE BUILDER SHALL SUPPLY/INSTALL AND MAINTAIN THE FOLLOWING IN ACCORDANCE WITH LOCAL COUNCIL AUTHORITY:

- SEDIMENT CONTROL MEASURES
- STABILISED ENTRY POINT
- CONTROLLED RUBBISH AREA
- TOILET FACILITIES

COMPLIANCE: ALL BUILDING WORK TO COMPLY WITH THE 'NATIONAL CONSTRUCTION CODE' OF AUSTRALIA, AND ANY REFERENCED AUSTRALIAN STANDARDS AND LOCAL COUNCIL AUTHORITY REQUIREMENTS.

ALL AREAS TO BE MADE GOOD BY THE BUILDER WHERE DISTURBED BY THE NEW WORK.

BASIX: BASIX - ALL SELECTIONS TO COMPLY WITH ENERGY EFFICIENCY PERFORMANCE REQUIREMENTS OF THE ASSOCIATED BASIX CERTIFICATE.

CONCRETE: ALL CONCRETE SLAB & FOOTINGS FOR CLASS 1 & 10a BUILDINGS TO COMPLY WITH AS 2870 RESIDENTIAL SLAB AND FOOTINGS.

STORMWATER: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500 PLUMBING AND DRAINAGE, PART 3: STORMWATER DRAINAGE.

SEWER: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3500.2 PLUMBING AND DRAINAGE, PART 2: SANITARY PLUMBING AND DRAINAGE.

TERMITE PROTECTION : PROVIDE PHYSICAL AND CHEMICAL TERMITE BARRIERS IN ACCORDANCE WITH BCA VOL. 2, PART H1 STRUCTURE, H1D3 SITE PREPARATION, ABCB HOUSINGS PROVISIONS PART 3.4 TERMITE RISK MANAGEMENT AND AS 3660.1 TERMITE MANAGEMENT, PART 1: NEW BUILDING WORK.

TIMBER FRAMING: FABRICATION AND INSTALLATION OF TIMBER CONSTRUCTION TO COMPLY WITH THE RELEVANT PARTS OF AS 1684 TIMBER FRAMING CODE.

MASONRY: TO BE IN ACCORDANCE WITH AS 3700:2018 MASONRY STRUCTURES.

ELECTRICAL: DESIGN AND INSTALLATION TO COMPLY WITH AS/NZS 3000 ELECTRICAL INSTALLATIONS.

WATERPROOFING - INTERNAL WET AREAS: TO BE IN ACCORDANCE WITH BCA VOL. 2 PART H4 HEALTH AND AMENITY, H4D2 WET AREAS; ABCB HOUSING PROVISIONS PART 10.2 WET AREA WATERPROOFING.

WATERPROOFING - EXTERNAL: TO BE IN ACCORDANCE WITH BCA VOL. 2 PART H2 DAMP AND WEATHERPROOFING, H2D8 EXTERNAL WATERPROOFING; ABCB HOUSING PROVISIONS PART 10.2 WET AREA WATERPROOFING. MATERIALS SELECTION AS PER AS 4654.1 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE, PART 1: MATERIALS. SYSTEM DESIGN AS PER AS 4654.2 WATERPROOFING MEMBRANES FOR EXTERNAL ABOVE-GROUND USE, PART 2: DESIGN AND INSTALLATION.

GLAZING: SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS. GLASS TYPE AND THICKNESS TO AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION. ALL OTHER COMPONENTS TO COMPLY WITH RELEVANT STANDARDS.

SMOKE DETECTORS: TO BE SELECTED, LOCATED AND INSTALLED IN ACCORDANCE WITH BCA VOL. 2, H3D6 SMOKE ALARMS AND EVACUATION LIGHTING, ABCB HOUSING PROVISIONS PART 9.5 SMOKE ALARMS AND EVACUATION LIGHTING (INCLUDING NSW STATE VARIATION) AND AS 3786 SMOKE ALARMS USING SCATTERED LIGHT, TRANSMITTED LIGHT OR IONIZATION.

EXHAUST FANS: TO BE DUCTED THROUGH ROOF TO OUTSIDE TO PROVIDE MECHANICAL VENTILATION IN ACCORDANCE WITH BCA VOL. 2, H4D7 VENTILATION; ABCB HOUSING PROVISIONS PART 10.6 VENTILATION - CLAUSE 10.6.2 VENTILATION REQUIREMENTS AND BCA VOL. 2, H4D9 CONDENSATION MANAGEMENT; ABCB HOUSING PROVISIONS PART 10.8 CONDENSATION MANAGEMENT.

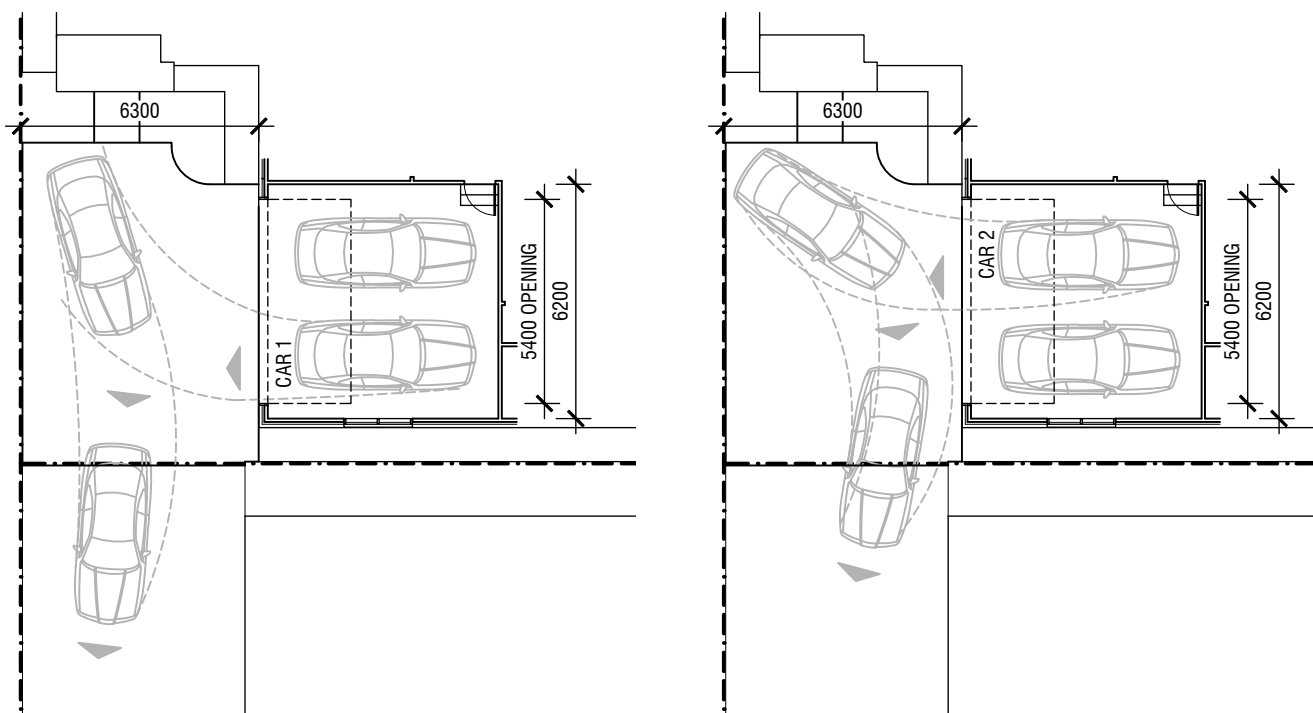
AMBIGUITY, ERROR OR OMISSION NOTE

'IF IN DOUBT, ASK; IF IT DOESN'T LOOK RIGHT, QUESTION IT'

ANY PERSON INVOLVED WITH THIS PROJECT (CONSULTANT, CONTRACTOR, SUB-CONTRACTOR, AUTHORITY, SUPPLIER, OWNER AND THE LIKE) THAT DISCOVERS ANY AMBIGUITY, ERROR OR OMISSION IN THESE DOCUMENTS, OR BETWEEN THESE DOCUMENTS AND ANY OTHER RELEVANT DOCUMENTS (CONSULTANT'S PLANS, REPORTS, DCP, LEP, BCA, AUSTRALIAN STANDARDS OR THE LIKE), SHALL ADVISE ROBERSON CONSTRUCTIONS IMMEDIATELY AND SEEK CLARIFICATION. NO DECISIONS WITH REGARD TO APPROVAL, PRICING, SUPPLY OR CONSTRUCTION ARE TO BE MADE WITH RESPECT TO THE ISSUE WITHOUT WRITTEN APPROVAL OR UPDATED DOCUMENTATION TO CORRECT THIS AMBIGUITY, ERROR OR OMISSION.

DRAWING SCHEDULE

SHEET No.	SHEET NAME
A01	GENERAL NOTES
A02	SITE & SITE ANALYSIS PLAN
A03	COMMUNITY TITLE & PLUMBING PLANS
A04	FLOOR PLAN
A05	ELEVATIONS
A06	SECTION & WINDOW SCHEDULE
A07	BASIX



VEHICLE MANOEUVERING DIAGRAMS
 SCALE 1:200

VEHICLE MANOEUVERING:

GARAGE SPACES, DOOR OPENING & APRON WIDTHS TO BE ACCORANCE WITH AS2890.1 2004 CARPARKING 5.4(b) & FIGURE 2.2. USER CLASS 1A.

5.4(b) MULTIPLE VEHICLE GARAGE WITH NO INTERNAL WALLS

MINIMUM GARAGE WIDTH REQUIRED =	5.4m MIN
(2.4m SPACE + 0.3m) x 2	
MINIMUM DOOR WIDTH REQUIRED =	4.8m MIN
(SPACE WIDTH 2.4m x 2)	
MINIMUM APRON WIDTH REQUIRED =	5.8m MIN
(USER CLASS 1A, 90° ANGLE - FIGURE 2.2)	

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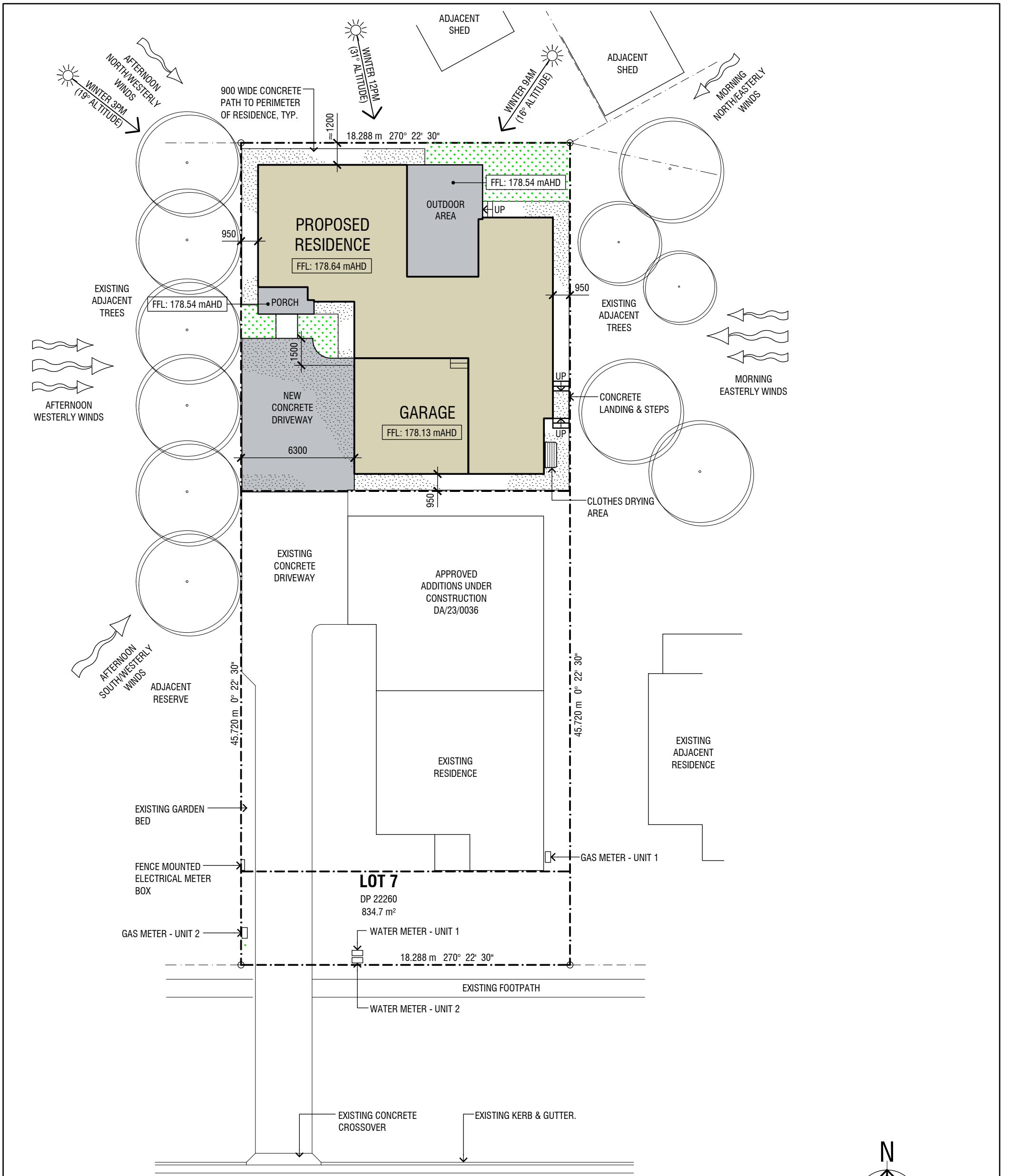


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3	ISSUED FOR DA 29.11.2023
2	ISSUED FOR APPROVAL 21.11.2023
1	PROGRESS ISSUE 13.09.2023
Issue / Amendments	Date

Project Name
PROPOSED NEW RESIDENCE & SUBDIVISION
LOT 7, DP 22260
5 SPRING STREET, WAGGA WAGGA

Client
ROBERSON CONSTRUCTIONS

Date	SEP 2023	Project Number	23-02
Scale	AS SHOWN	Drawing No.	A01
Drawn	K.M.		
Plot Date		Issue	3

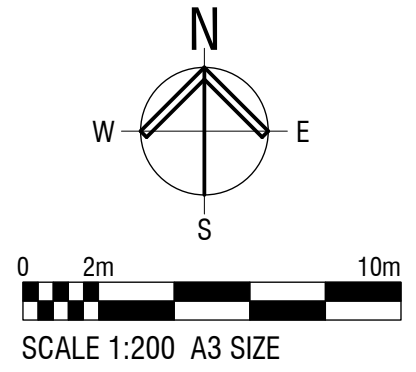


SITE / SITE ANALYSIS PLAN
SCALE 1:200

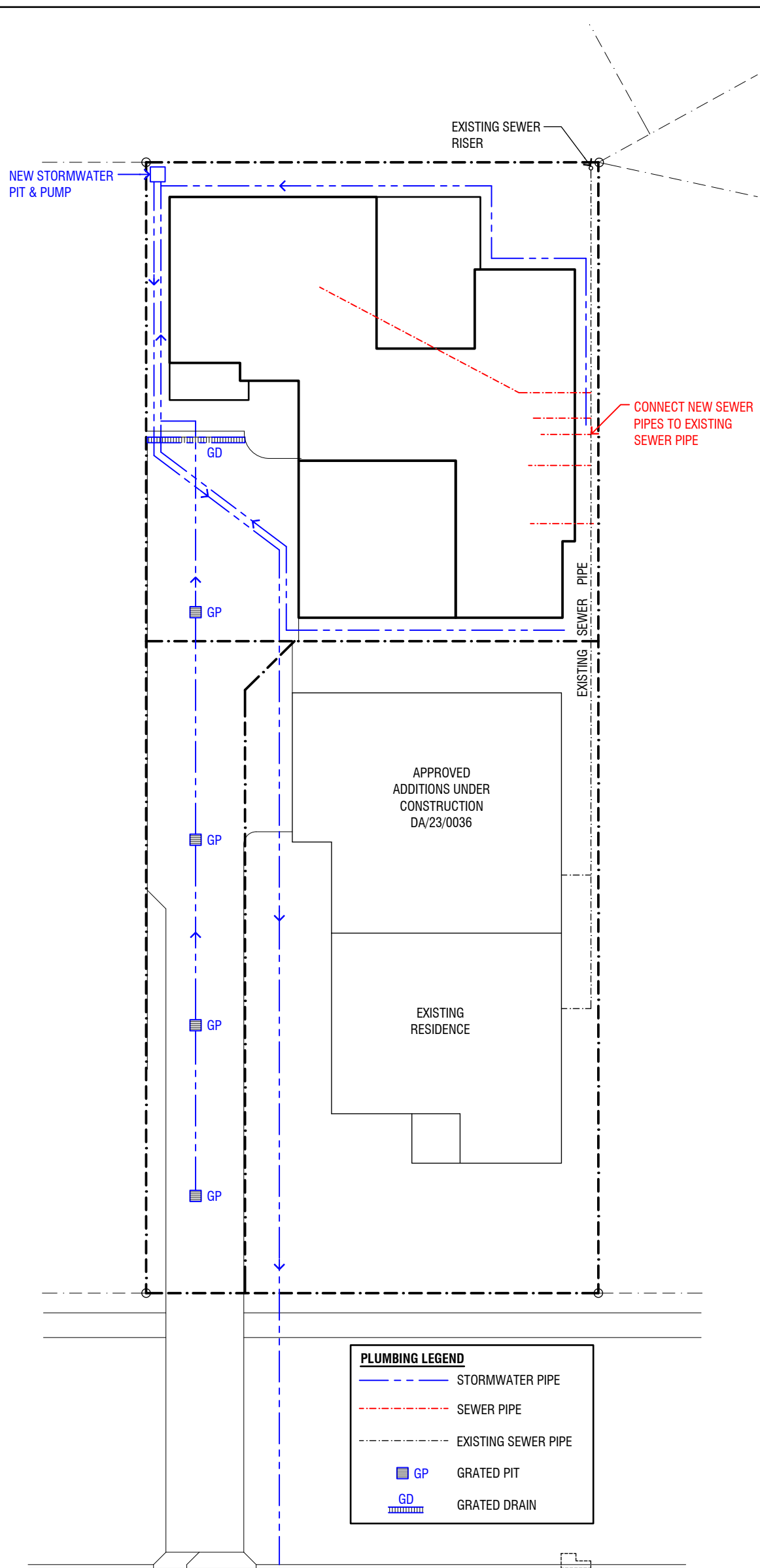
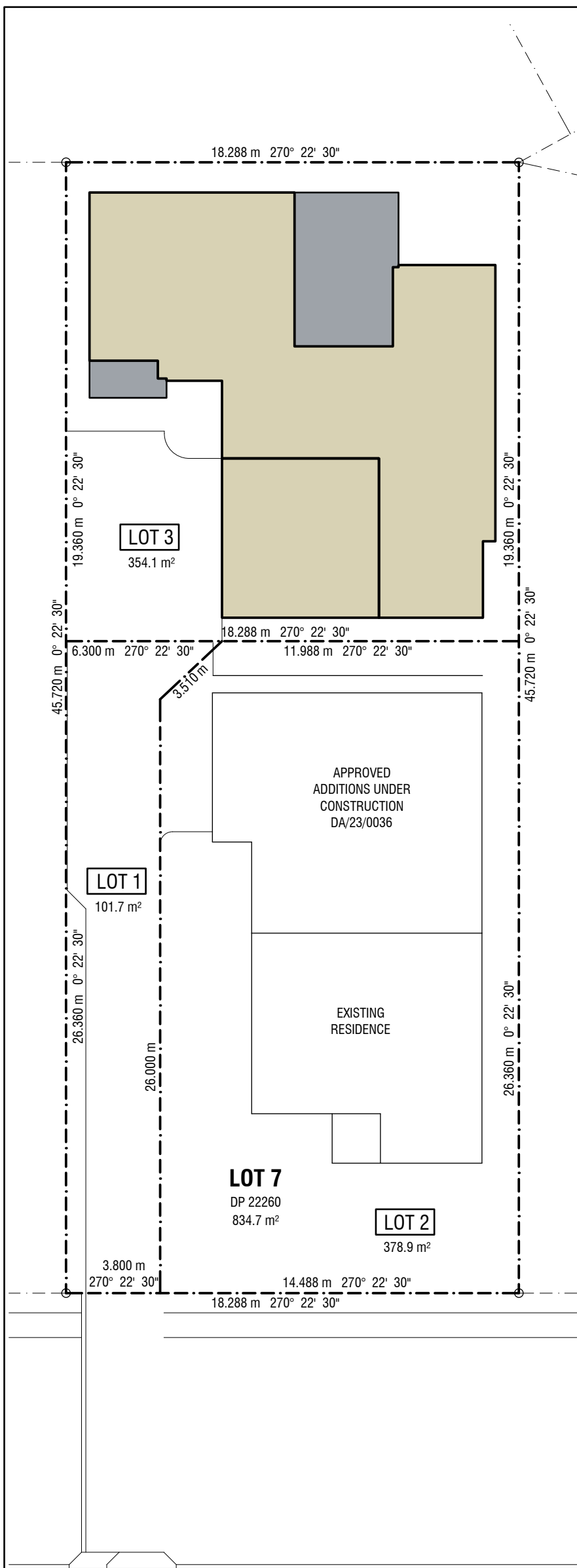
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BASIX LANDSCAPING
MAX. AREA: 29m²
MIN. INDIGENOUS OR LOW WATER USAGE SPECIES: 10m²

FLOOR LEVEL NOTE:
FINISHED FLOOR LEVEL HAS BEEN DETERMINED IN ACCORDANCE WITH WMA WATER - FLOOD IMPACT ASSESSMENT REF:L231113.
1% AEP LEVEL = 178.14 mAHD + 0.5m FREEBOARD = 178.64 mAHD FFL.



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		3 ISSUED FOR DA 29.11.2023 2 ISSUED FOR APPROVAL 21.11.2023 1 PROGRESS ISSUE 13.09.2023	Client ROBERSON CONSTRUCTIONS	Scale AS SHOWN	Drawing No. A02
		Issue / Amendments Date	Plot Date	Issue 3	

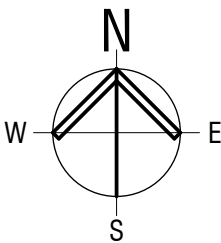


PLUMBING LEGEND	
	STORMWATER PIPE
	SEWER PIPE
	EXISTING SEWER PIPE
	GRADED PIT
	GRADED DRAIN

SPRING STREET

COMMUNITY TITLE PLAN
SCALE 1:200

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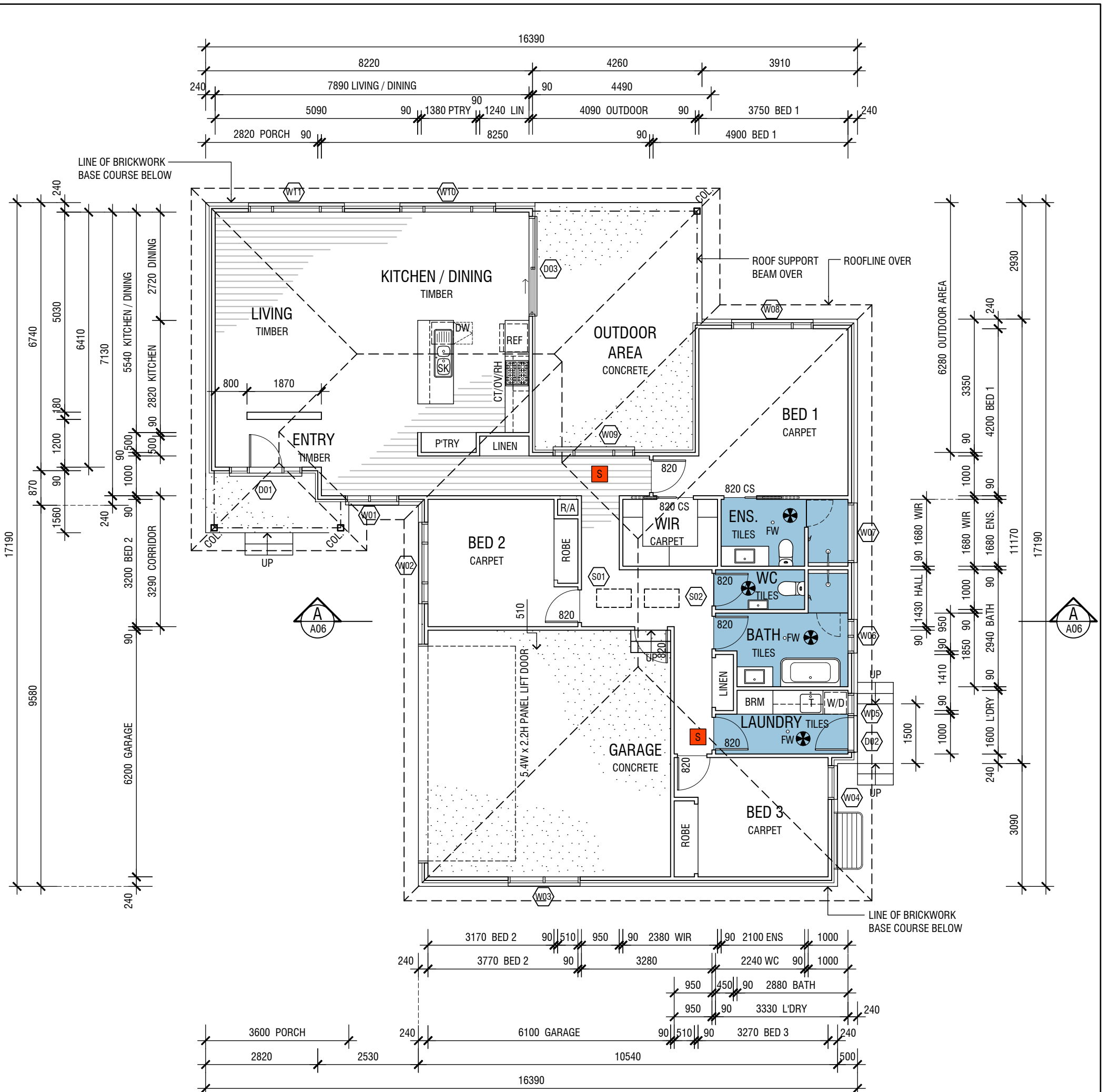
SPRING STREET

PLUMBING PLAN
SCALE 1:200



SCALE 1:200 A3 SIZE

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	<p>3 ISSUED FOR DA 29.11.2023</p>	<p>Client ROBERSON CONSTRUCTIONS</p>	<p>Scale AS SHOWN</p>	<p>Drawing No. A03</p>
	<p>2 ISSUED FOR APPROVAL 21.11.2023</p>	<p>Plot Date</p>	<p>Issue 3</p>	
	<p>1 PROGRESS ISSUE 13.09.2023</p>	<p>Issue / Amendments Date</p>		



FLOOR PLAN
SCALE 1:100

REFER SHEET A06 FOR DOOR AND WINDOW SCHEDULE

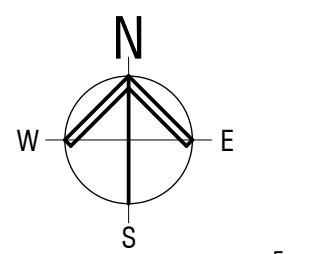
ABBREVIATIONS LEGEND

- COS CONFIRM ON SITE
- EX EXISTING
- CS CAVITY SLIDER
- DW DISH WASHER
- FW FLOOR WASTE
- KS KITCHEN SINK
- OV OVEN
- RH RANGE HOOD
- SH SHELVING
- CT COOKTOP
- T LAUNDRY TUB
- W/D WASHING MACHINE / DRYER

SYMBOLS LEGEND

- SMOKE DETECTOR (MAINS CONNECTED AND LINKED WITH BATTERY BACKUP). REFER *BUILDING NOTES* FOR COMPLIANCE STANDARDS.
- EXHAUST FAN TO BE DUCTED THROUGH ROOF TO OUTSIDE. REFER *BUILDING NOTES* FOR COMPLIANCE STANDARDS.

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SCALE 1:100 A3 SIZE

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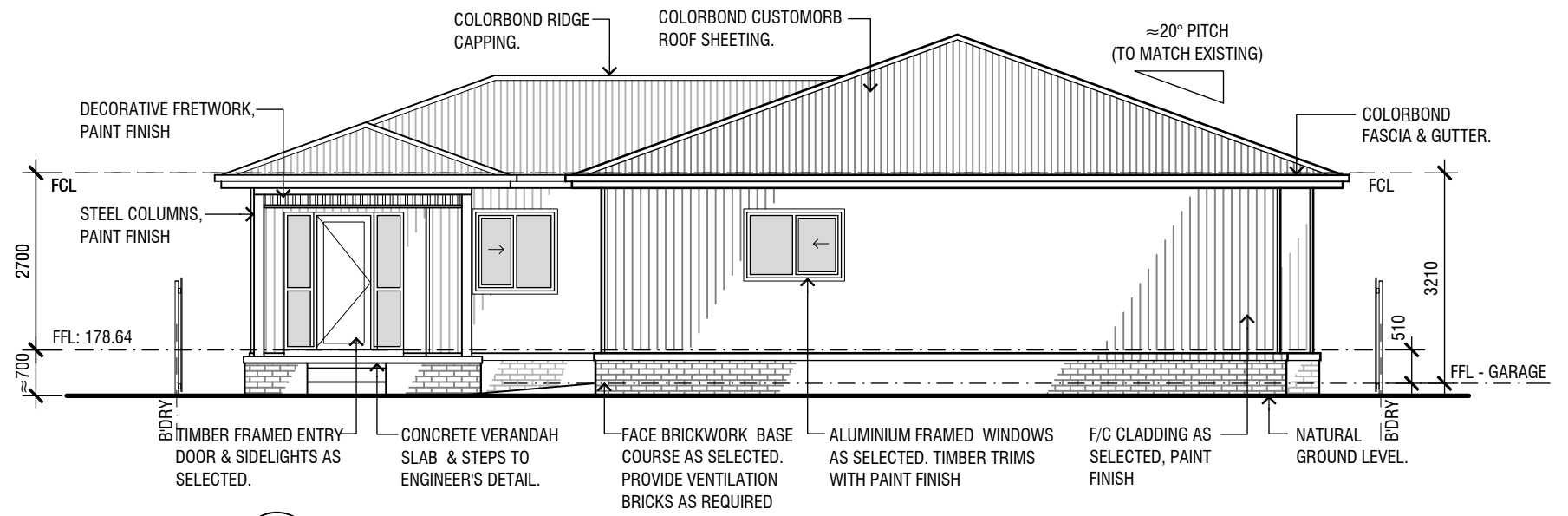


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Issue / Amendments	Date

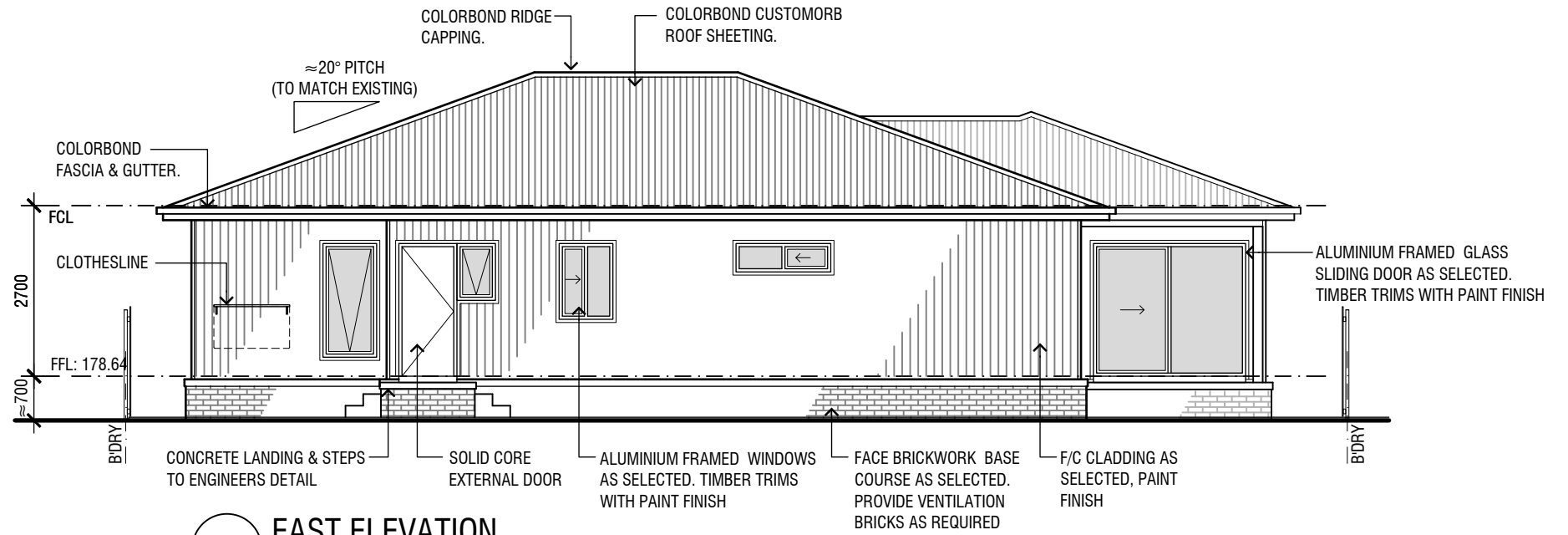
Project Name
PROPOSED NEW RESIDENCE & SUBDIVISION
LOT 7, DP 22260
5 SPRING STREET, WAGGA WAGGA

Client
ROBERSON CONSTRUCTIONS

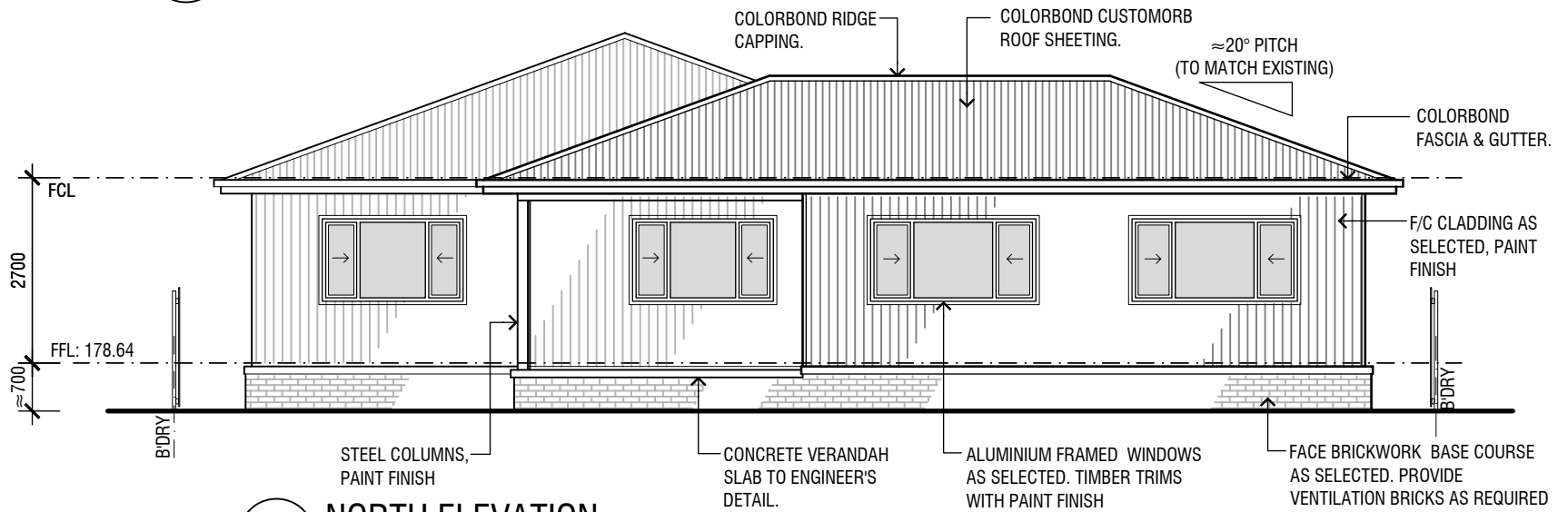
Date	SEP 2023	Project Number	23-02
Scale	AS SHOWN	Drawing No.	A04
Drawn	K.M.	Issue	
Plot Date			



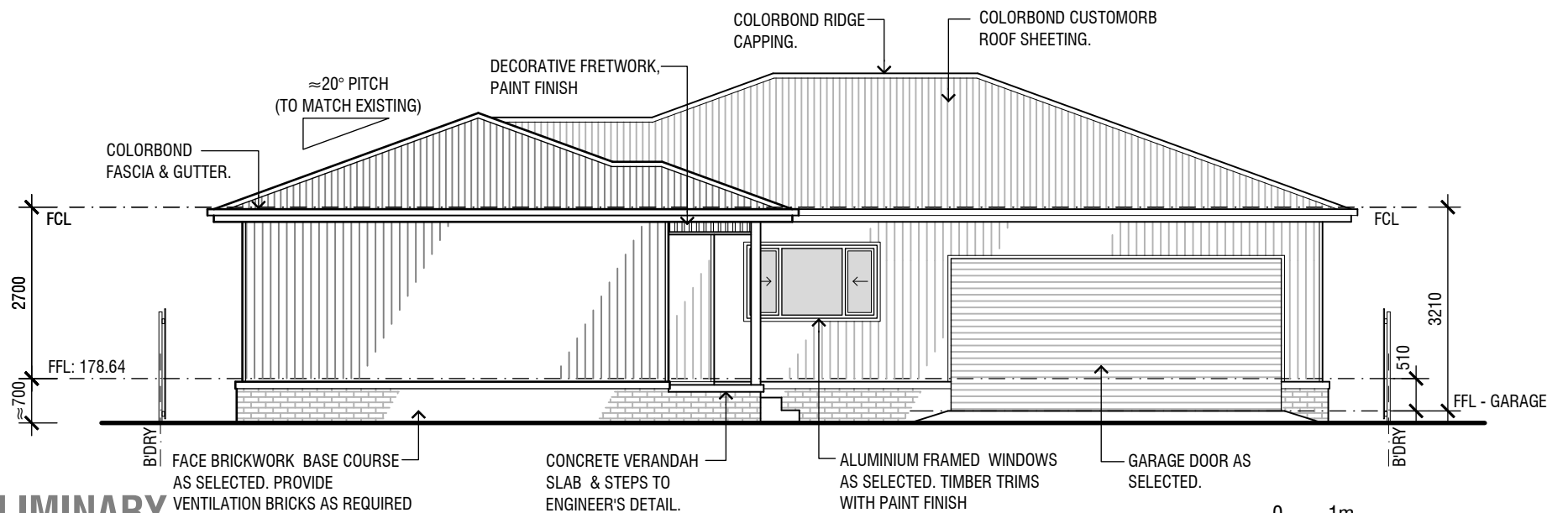
SOUTH ELEVATION
SCALE 1:100



EAST ELEVATION
SCALE 1:100



NORTH ELEVATION
SCALE 1:100



WEST ELEVATION
SCALE 1:100

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SCALE 1:100 A3 SIZE

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1 PROGRESS ISSUE	13.09.2023

Project Name

PROPOSED NEW RESIDENCE & SUBDIVISION
LOT 7, DP 22260
5 SPRING STREET, WAGGA WAGGA

Client

ROBERSON CONSTRUCTIONS

Date

SEP 2023

Scale

AS SHOWN

Drawn

K.M.

Plot Date

Project Number

23-02

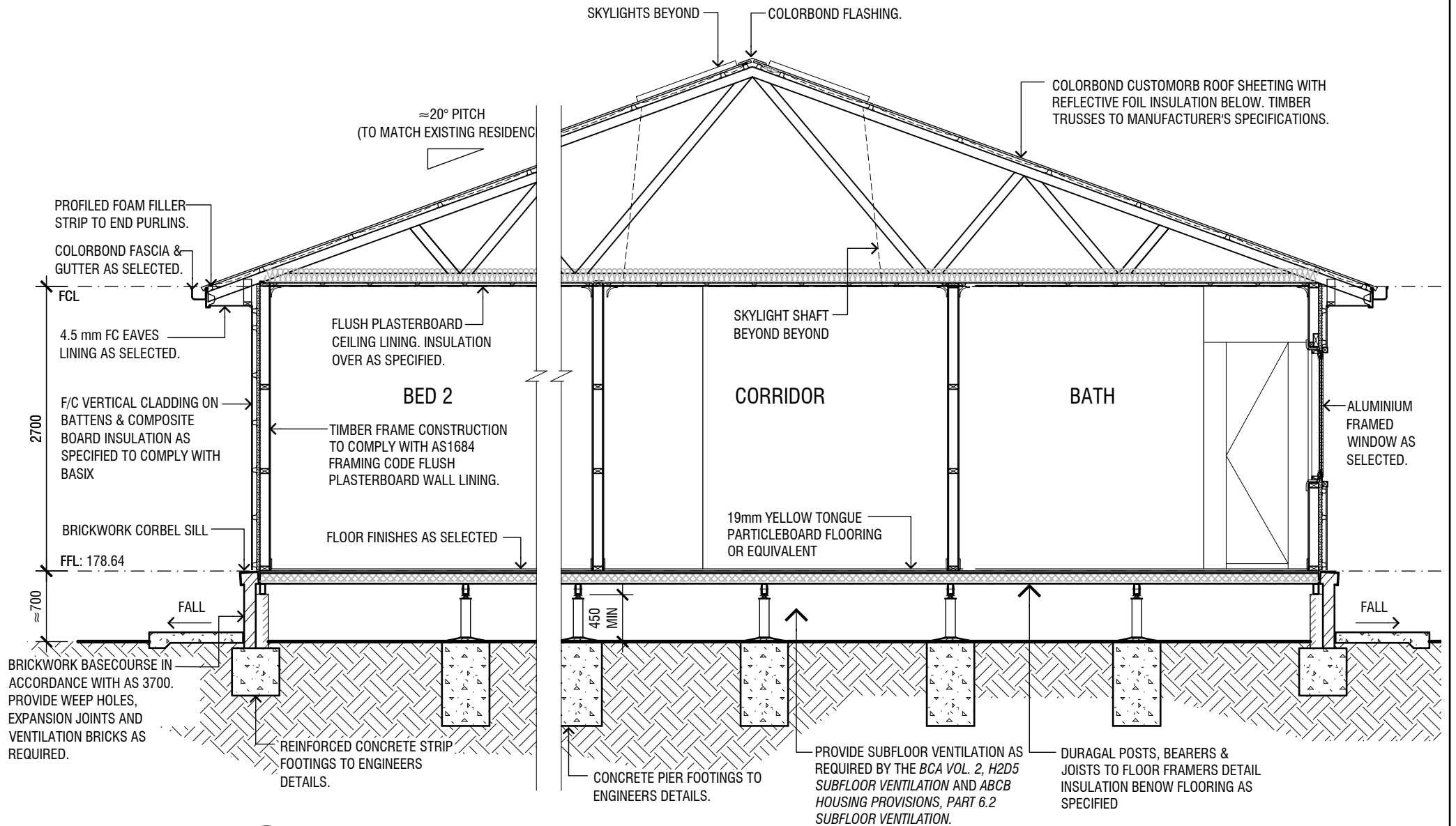
Drawing No.

A05

Issue

3

INSULATION NOTE: TO COMPLY WITH BASIX
ROOF - FOIL SARKING
CEILING - R5.5 BATTS
WALLS CLADDING - 2.5 COMPOSITE FOAM / FOIL BOARD
INTERNAL WALL TO GARAGE - R2.5 BATTS
FLOOR - 1.7 FIBREGLASS BATTS OR ROLL



A SECTION
A04 SCALE 1:50

WINDOW & DOOR SCHEDULE

No.	SIZE (H x W)	GLAZING (m ²)	DESCRIPTION
W01	1200 x 1210	1.45 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W02	1200 x 2050	2.46 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W03	1000 x 1450	1.45 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W04	1800 x 850	1.53 m ²	ALUMINIUM FRAMED AWNING WINDOW DG
W05	900 x 610	0.55 m ²	ALUMINIUM FRAMED AWNING WINDOW DG
W06	1200 x 850	1.53 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W07	450 x 1450	0.65 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W08	1200 x 2050	2.46 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W09	1200 x 2050	2.46 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W10	1200 x 3010	3.60 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
W11	1200 x 3010	3.60 m ²	ALUMINIUM FRAMED SLIDING WINDOW DG
D01	2100 x 1810	1.90 m ²	TIMBER FRAMED 820 ENTRY DOOR WITH SIDE LIGHTS DG
D02	2100 x 920	- m ²	TIMBER FRAMED 820 SOLID CORE DOOR
D03	2100 x 2530	5.31 m ²	ALUMINIUM FRAMED GLASS SLIDING DOOR DG
S01	460 x 870	0.40 m ²	TIMBER FRAMED FIXED SKYLIGHT. (VELUX OR EQUIVALENT)
S02	460 x 870	0.40 m ²	TIMBER FRAMED FIXED SKYLIGHT. (VELUX OR EQUIVALENT)

DOOR AND WINDOW NOTES:

- GLAZING AND WINDOW SELECTION AND INSTALLATION TO AS 2047 WINDOWS AND EXTERNAL GLAZED DOORS IN BUILDINGS AND AS 1288 GLASS IN BUILDINGS - SELECTION AND INSTALLATION.
- WINDOW FRAME AND GLAZING PERFORMANCE LEVELS TO MEET OR EXCEED BASIX CERTIFICATE REQUIREMENTS.
- BUILDER TO ADVISE FRAMING MANUFACTURER OF SELECTED WINDOW MANUFACTURER'S SIZES AS STANDARD WINDOW SIZES VARY SLIGHTLY BETWEEN MANUFACTURER'S.
- ALL WINDOW & DOOR DIMENSIONS TO BE CHECKED ON SITE PRIOR TO FABRICATION.
- ALL WINDOW AND DOOR HEAD HEIGHT, UNLESS NOTED OTHERWISE - 2100.
- ALL OPERABLE WINDOWS TO BE FITTED WITH SEALS AND TIGHT FITTING FLY SCREENS.
- EXTERNAL DOORS TO BE FITTED WITH WEATHER SEALS ALL ROUND.

HH - HEAD HEIGHT
DG - DOUBLE GLAZED
FR - FROSTED GLASS
OB - OBSCURE GLASS
SAF - SAFETY GLASS

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SCALE 1:50 A3 SIZE

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Issue / Amendments	Date
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2 ISSUED FOR APPROVAL	21.11.2023
1 PROGRESS ISSUE	13.09.2023

Project Name

PROPOSED NEW RESIDENCE & SUBDIVISION
LOT 7, DP 22260
5 SPRING STREET, WAGGA WAGGA

Client

ROBERSON CONSTRUCTIONS

Date

SEP 2023

Project Number

23-02

Scale

AS SHOWN

Drawing No.

A06

Drawn

K.M.

Plot Date

Issue

3

This certificate confirms that the proposed development will meet the NSW government's requirements for sustainability, if it is built in accordance with the commitments set out below. Terms used in this certificate, or in the commitments, have the meaning given by the document entitled "BASIX Definitions" dated 10/09/2020 published by the Department. This document is available at www.basix.nsw.gov.au

Secretary
Date of issue: Tuesday, 28 November 2023
To be valid, this certificate must be lodged within 3 months of the date of issue.



Project summary		
Project name	Spring St Unit	
Street address	5 SPRING Street WAGGA WAGGA 2650	
Local Government Area	Wagga Wagga City Council	
Plan type and plan number	Deposited Plan DP22260	
Lot no.	7	
Section no.	-	
Project type	dwelling house (detached)	
No. of bedrooms	3	
Project score		
Water	33	Target 20
Thermal Performance	Pass	Target Pass
Energy	72	Target 67
Materials	4	Target n/a

Assessor details and thermal loads		
Assessor number	n/a	
Certificate number	n/a	
Climate zone	n/a	
Area adjusted cooling load (MJ/m ² year)	n/a	
Area adjusted heating load (MJ/m ² year)	n/a	
Project score		
Water	33	Target 20
Thermal Performance	Pass	Target Pass
Energy	72	Target 67
Materials	4	Target n/a

Project address	
Project name	Spring St Unit
Street address	5 SPRING Street WAGGA WAGGA 2650
Local Government Area	Wagga Wagga City Council
Plan type and plan number	Deposited Plan DP22260
Lot no.	7
Section no.	-
Project type	
Project type	dwelling house (detached)
No. of bedrooms	3
Site details	
Site area (m ²)	354
Roof area (m ²)	247
Conditioned floor area (m ²)	119.8
Unconditioned floor area (m ²)	15.4
Total area of garden and lawn (m ²)	29
Roof area of the existing dwelling (m ²)	0

Water Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Landscaping			
The applicant must plant indigenous or low water use species of vegetation throughout 10 square metres of the site.	✓	✓	✓
Fixtures			
The applicant must install showerheads with a minimum rating of 4 star (> 6 but <= 7.5 L/min plus spray force and/or coverage tests) in all showers in the development.		✓	✓
The applicant must install a toilet flushing system with a minimum rating of 4 star in each toilet in the development.		✓	✓
The applicant must install taps with a minimum rating of 3 star in the kitchen in the development.		✓	✓
The applicant must install basin taps with a minimum rating of 3 star in each bathroom in the development.		✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Do-it-yourself Method			
General features			
The dwelling must be a Class 1 dwelling according to the National Construction Code, and must not have more than 2 storeys.	✓	✓	✓
The conditioned floor area of the dwelling must not exceed 300 square metres.	✓	✓	✓
The dwelling must not contain open mezzanine area exceeding 25 square metres.	✓	✓	✓
The dwelling must not contain third level habitable attic room.	✓	✓	✓
Floor, walls and ceiling/roof			
The applicant must construct the floor(s), walls, and ceiling/roof of the dwelling in accordance with the specifications listed in the table below.	✓	✓	✓
The applicant must adopt one of the options listed in the tables below to address thermal bridging in metal framed floor(s), walls and ceiling/roof of the dwelling.	✓	✓	✓
The applicant must show through receipts that the materials purchased for construction are consistent with the specifications listed in the tables below.	✓	✓	✓

Construction	Area - m ²	Additional insulation required	Options to address thermal bridging	Other specifications
floor - suspended floor above enclosed subfloor, particle board; frame: light steel frame.	135.2	1.7 (or 2.4 including construction) (down) with one of the measures to address thermal bridging: fibreglass batts or roll.	• Install additional R1.0 (down) (or R2.7 (down) including the additional insulation between floor framing); or • Install continuous insulation layer with at least R0.4 above or below the floor framing	reflective foil facing the subfloor; subfloor wall insulation: None
garage floor - concrete slab on ground.	37.8	not specified	nil	
Construction	Area - m²	Additional insulation required	Options to address thermal bridging	Other specifications
external wall: framed (fibre cement sheet or boards); frame: timber - H2 treated softwood.	all external walls	2.50 (or 3.00 including construction); foil-foam composite board	nil	wall colour: Light (solar absorptance < 0.48)
internal wall shared with garage: plasterboard; frame: timber - H2 treated softwood.	32.55	0.78 (or 1.20 including construction); fibreglass batts or roll	nil	
internal wall: plasterboard; frame: timber - H2 treated softwood.	78.16	none	nil	
ceiling and roof - flat ceiling / pitched roof, framed - metal roof; timber - H2 treated softwood.	247	ceiling: 5.5 (up); roof: foil sarking; ceiling: fibreglass batts or roll; roof: foil sarking.	nil	roof space ventilation: unventilated; roof colour: light (solar absorptance 0.38-0.47); ceiling area fully insulated

- Note - Insulation specified in this Certificate must be installed in accordance with the ABCB Housing Provisions (Part 13.2.2) of the National Construction Code.
- Note - If the additional ceiling insulation listed in the table above is greater than R3.0, refer to the ABCB Housing Provisions (Part 13.2.3 (ii)) of the National Construction Code.
- Note - In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.
- Note - Thermal breaks must be installed in metal framed walls and applicable roofs in accordance with the ABCB Housing Provisions of the National Construction Code.

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Ceiling fans			
The applicant must install at least one ceiling fan in at least one daytime habitable space, such as living room.	✓	✓	✓
The applicant must install at least one ceiling fan in each bedroom.	✓	✓	✓
• The minimum number and diameter of ceiling fans in a daytime habitable space must be installed in accordance with the ABCB Housing Provisions (Part 13.5.2) of the National Construction Code.	✓	✓	✓

Thermal Performance and Materials commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Glazed windows, doors and skylights			
The applicant must install the windows, glazed doors and shading devices described in the table below, in accordance with the specifications listed in the table. Relevant overshadowing specifications must be satisfied for each glazed window and door.	✓	✓	✓
The dwelling may have 1 skylight (<0.7 square metres) which is not listed in the table.	✓	✓	✓
The following requirements must also be satisfied in relation to each window and glazed door:	✓	✓	✓
• The applicant must install windows and glazed doors in accordance with the height and width, frame and glazing types listed in the table.	✓	✓	✓
• Each window and glazed door must have a U-value no greater than that listed and a Solar Heat Gain Coefficient (SHGC) within the range listed. Total system U values and SHGC must be calculated in accordance with National Fenestration Rating Council (NFRC) conditions.	✓	✓	✓
• Vertical external louvres and blinds must fully shade the glazed window or door beside which they are situated when fully drawn or closed.	✓	✓	✓
• Overshadowing buildings/vegetation must be of the height and distance from the centre and the base of the window and glazed door, as specified in the 'overshadowing' column.	✓	✓	✓
The applicant must install the skylights described in the table below, in accordance with the specifications listed in the table. Total skylight area must not exceed 3 square metres (the 3 square metre limit does not include the optional additional skylight of less than 0.7 square metres that does not have to be listed in the table).	✓	✓	✓

Skylight no.	Maximum area (m ²)	Skylight specification	Shading device
S01	0.40	timber, double/argon fill clear (U: <=3.5, SHGC: 0.21 - 0.24)	no shading
S02	0.40	timber, double/argon fill clear (U: <=3.5, SHGC: 0.21 - 0.24)	no shading

Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W08	N	1200.00	2050.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
W09	N	1200.00	2050.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 550 mm, 360 mm above head of window or glazed door	not overshadowed
W10	N	1200.00	3010.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
W11	N	1200.00	3010.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
W04	E	1800.00	850.00	aluminium, double glazed (U-value: <=4, SHGC: >0.49)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
W05	E	900.00	610.00	aluminium, double glazed (U-value: <=4, SHGC: >0.49)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
W06	E	1200.00	850.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
W07	E	450.00	1450.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
D03	E	2100.00	2530.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 4800 mm, 360 mm above head of window or glazed door	not overshadowed
D01	S	2100.00	1810.00	timber, double glazed (U-value: <=3.5, SHGC: >0.6)	eave 1950 mm, 360 mm above head of window or glazed door	not overshadowed
W01	S	1200.00	1210.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed
Glazed window/door no.	Orientation	Maximum height (mm)	Maximum width (mm)	Frame and glass specification	Shading device (Dimension within 10%)	Overshadowing
W02	W	1200.00	2050.00	aluminium, double glazed (U-value: <=4, SHGC: >0.6)	eave 600 mm, 360 mm above head of window or glazed door	not overshadowed

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
Hot water			
The applicant must install the following hot water system in the development, or a system with a higher energy rating: gas instantaneous with a performance of 6 stars.	✓	✓	✓
Cooling system			
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 2 star (cold zone)		✓	✓
The applicant must install the following cooling system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 2 star (cold zone)		✓	✓
Heating system			
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 living area: 1-phase airconditioning - ducted; Energy rating: 2 star (cold zone)		✓	✓
The applicant must install the following heating system, or a system with a higher energy rating, in at least 1 bedroom: 1-phase airconditioning - ducted; Energy rating: 2 star (cold zone)		✓	✓
Ventilation			
The applicant must install the following exhaust systems in the development:			
At least 1 Bathroom: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Kitchen: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Laundry: individual fan, ducted to façade or roof; Operation control: manual switch on/off		✓	✓
Artificial lighting			
The applicant must ensure that a minimum of 80% of light fixtures are fitted with fluorescent, compact fluorescent, or light-emitting-diode (LED) lamps.		✓	✓
Natural lighting			
The applicant must install a window and/or skylight in the kitchen of the dwelling for natural lighting.	✓	✓	✓

Energy Commitments	Show on DA plans	Show on CC/CDC plans & specs	Certifier check
The applicant must install a window and/or skylight in 2 bathroom(s)/toilet(s) in the development for natural lighting.	✓	✓	✓
Other			
The applicant must install a gas cooktop & gas oven in the kitchen of the dwelling.		✓	✓
The applicant must install a fixed outdoor clothes drying line as part of the development.		✓	✓

PRELIMINARY
NOT FOR CONSTRUCTION



Issue / Amendments	Date
3 ISSUED FOR DA	29.11.2023
2 ISSUED FOR APPROVAL	21.11.2023
1 PROGRESS ISSUE	13.09.2023

Date	SEP 2023	Project Number	23-02
Scale	AS SHOWN	Drawing No.	A07
Drawn	K.M.	Issue	
Plot Date			